

Ashfield Council

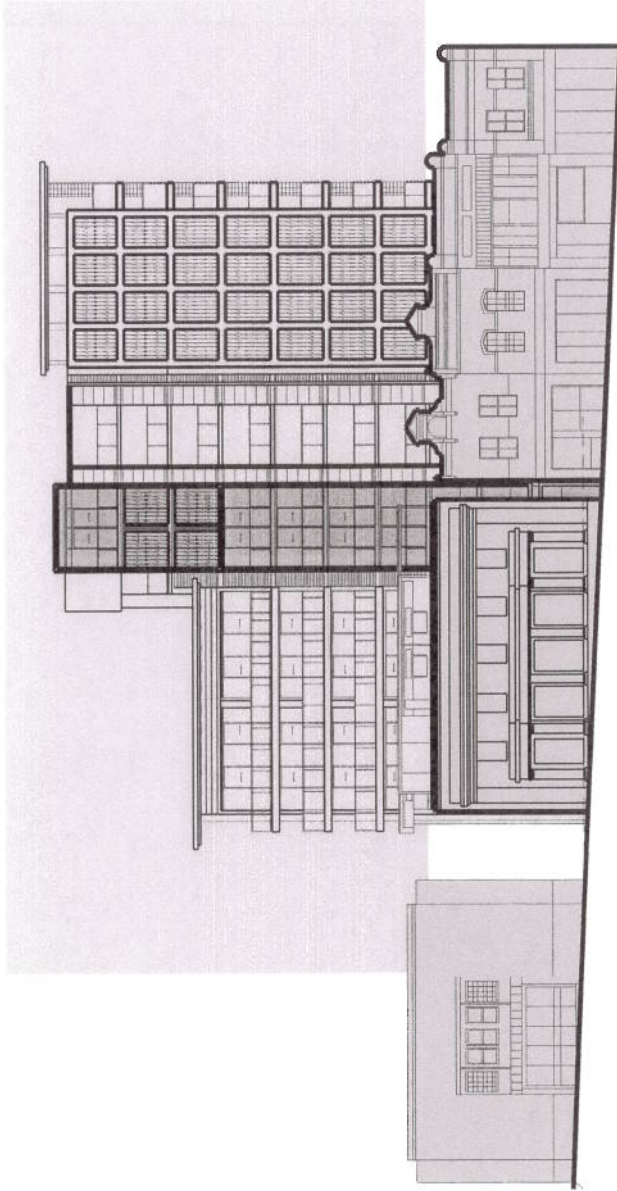
23 DEC 2009



Ashfield Council

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Ashfield Council
23 DEC 2009

DRAWING REGISTER:

DA-00.	COVER
DA-01	SITE PLAN/ANALYSIS
DA-02.	4TH BASEMENT PLAN
DA-03.	3RD BASEMENT PLAN
DA-04.	2ND BASEMENT PLAN
DA-05.	1ST BASEMENT PLAN
DA-06.	GROUND FLOOR PLAN
DA-07.	HERITAGE WALL
DA-08.	1ST FLOOR PLAN
DA-09.	2ND FLOOR PLAN
DA-10.	3RD FLOOR PLAN
DA-11.	4TH FLOOR PLAN
DA-12.	5TH FLOOR PLAN
DA-13	SIXTH FLOOR PLAN
DA-14	SEVENTH FLOOR PLAN
DA-15	8TH FLOOR PLAN
DA-16	ROOF PLAN
DA-17	ROOF PLAN
DA-18	SECTION
DA-19	WEST ELEVATION
DA-20	EAST ELEVATION
DA-21	SOUTH ELEVATION
DA-22	NORTH ELEVATION
DA-23	STREETSCAPE
DA-24	EXISTING HERITAGE ELEVATION
DA-25	PROPOSED HERITAGE ELEVATION
DA-26	GFA CALCULATIONS
DA-27	GFA CALCULATIONS
DA-28	URBAN DESIGN CONCEPT
DA-29	ADAPTABLE UNITS

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

DA - 00

DATE: 07/12/09
 SCALE: 1:200 @ A1
 CONSULTANT: CHILLI DESIGN, REG. ARCH. 042

COVER PAGE

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Unit 1, 10, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

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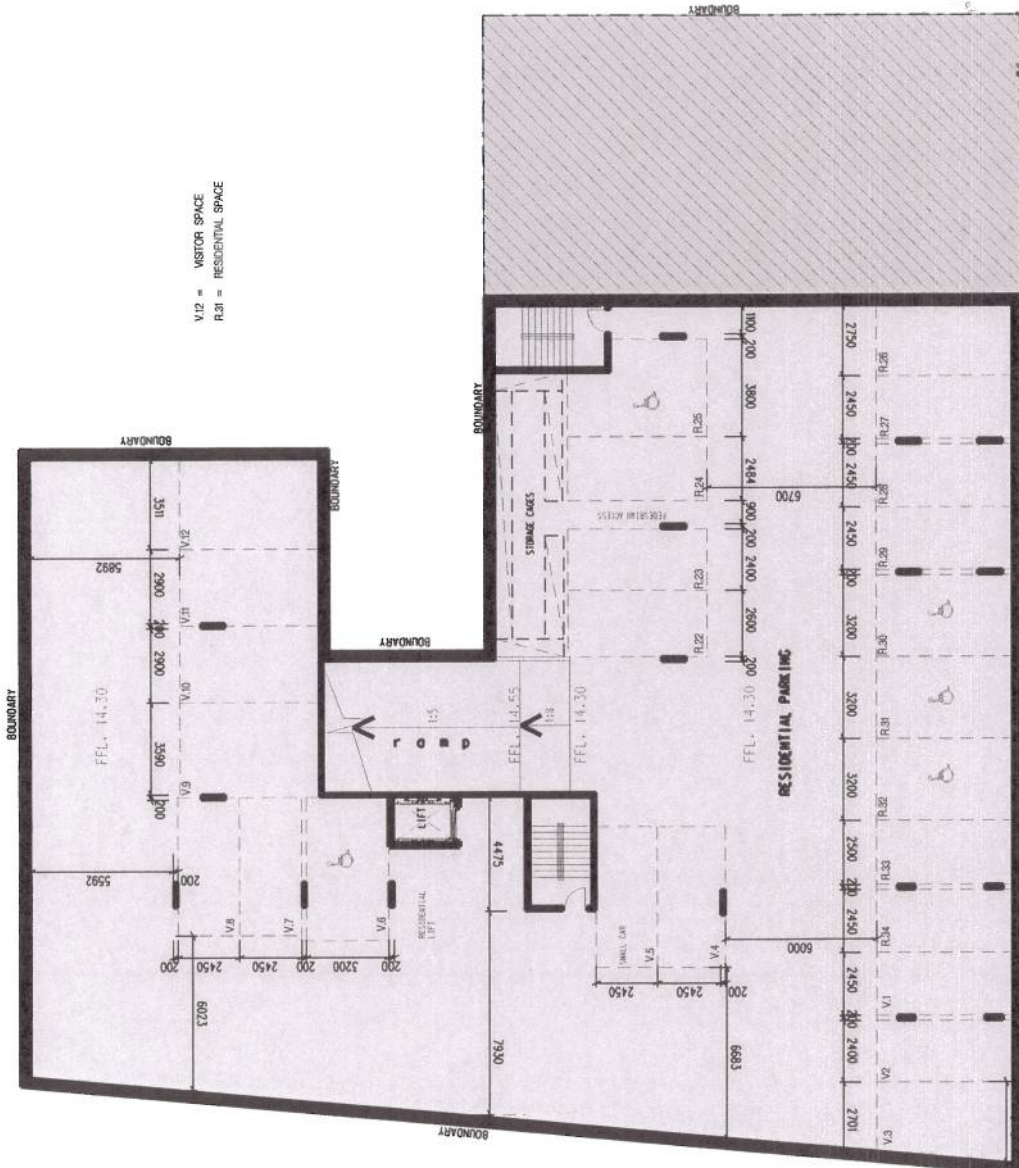
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LEGEND

1	PROP. WALL	11	PROP. WALL (W/ CORR)
2	PROP. WALL (W/ CORR)	12	PROP. WALL (W/ CORR)
3	PROP. WALL (W/ CORR)	13	PROP. WALL (W/ CORR)
4	PROP. WALL (W/ CORR)	14	PROP. WALL (W/ CORR)
5	PROP. WALL (W/ CORR)	15	PROP. WALL (W/ CORR)
6	PROP. WALL (W/ CORR)	16	PROP. WALL (W/ CORR)
7	PROP. WALL (W/ CORR)	17	PROP. WALL (W/ CORR)
8	PROP. WALL (W/ CORR)	18	PROP. WALL (W/ CORR)
9	PROP. WALL (W/ CORR)	19	PROP. WALL (W/ CORR)
10	PROP. WALL (W/ CORR)	20	PROP. WALL (W/ CORR)

PLANES

1	PROP. WALL	11	PROP. WALL (W/ CORR)
2	PROP. WALL (W/ CORR)	12	PROP. WALL (W/ CORR)
3	PROP. WALL (W/ CORR)	13	PROP. WALL (W/ CORR)
4	PROP. WALL (W/ CORR)	14	PROP. WALL (W/ CORR)
5	PROP. WALL (W/ CORR)	15	PROP. WALL (W/ CORR)
6	PROP. WALL (W/ CORR)	16	PROP. WALL (W/ CORR)
7	PROP. WALL (W/ CORR)	17	PROP. WALL (W/ CORR)
8	PROP. WALL (W/ CORR)	18	PROP. WALL (W/ CORR)
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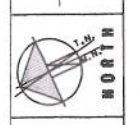
V.2 = VISITOR SPACE
 R.31 = RESIDENTIAL SPACE

Ashfield Council
 23 DEC 2009

PROPOSED DEVELOPMENT @
 11-13 HERCULES STREET
 ASHFIELD
 FOURTH BASEMENT PLAN

DA - 02
 DATE 07.12.09
 SCALE 1:100 @ A1/1:200 @ A3
 DRAWING NUMBER 00113_030000 - REV. 16

cmt architects
 11-13 Hercules Street
 Ashfield
 Notts
 Tel: 01509 220700
 Fax: 01509 220733



LEGEND

10	PAVE FINISH	10	CONCRETE
11	PAVE FINISH	11	CONCRETE
12	PAVE FINISH	12	CONCRETE
13	PAVE FINISH	13	CONCRETE
14	PAVE FINISH	14	CONCRETE
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16	PAVE FINISH	16	CONCRETE
17	PAVE FINISH	17	CONCRETE
18	PAVE FINISH	18	CONCRETE
19	PAVE FINISH	19	CONCRETE
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22	PAVE FINISH	22	CONCRETE
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25	PAVE FINISH	25	CONCRETE
26	PAVE FINISH	26	CONCRETE
27	PAVE FINISH	27	CONCRETE
28	PAVE FINISH	28	CONCRETE
29	PAVE FINISH	29	CONCRETE
30	PAVE FINISH	30	CONCRETE

FOURTH BASEMENT PLAN

30

DA - 02

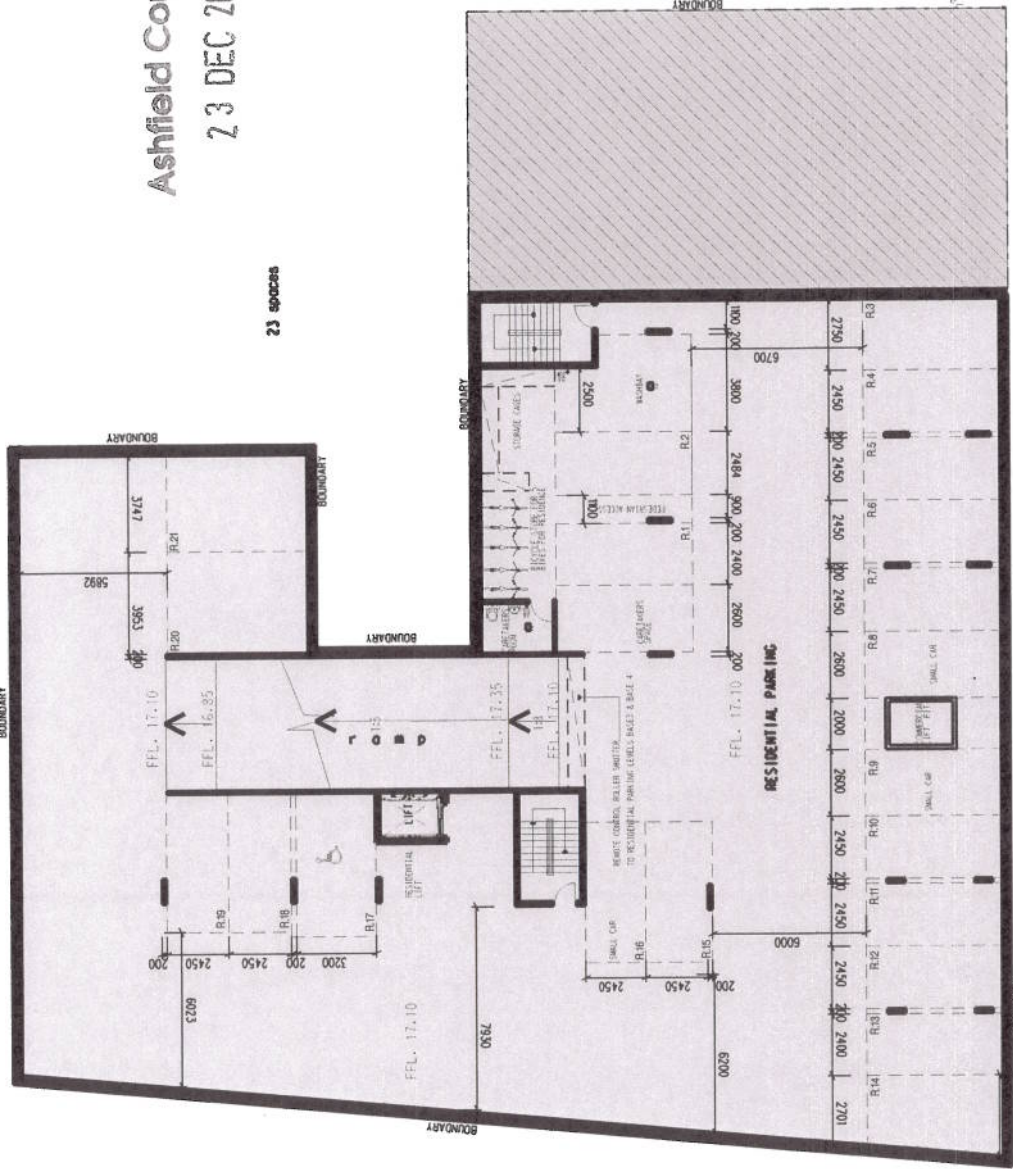
DATE 07.12.09

SCALE 1:100 @ A1/1:200 @ A3

DRAWING NUMBER 00113_030000 - REV. 16

Ashfield Council
23 DEC 2009

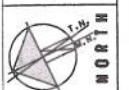
23 spaces



THIRD BASEMENT PLAN

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD
THIRD BASEMENT PLAN

DA - 03
DATE: 07.12.09
SCALE: 1:100 @ A1 / 1:200 @ A3
CADD: DWGSET: 14111103.DWG - 24.11.09



cm | architects
1001 L ST. #206
MELBOURNE VIC 3122
P: 03 9887 4152
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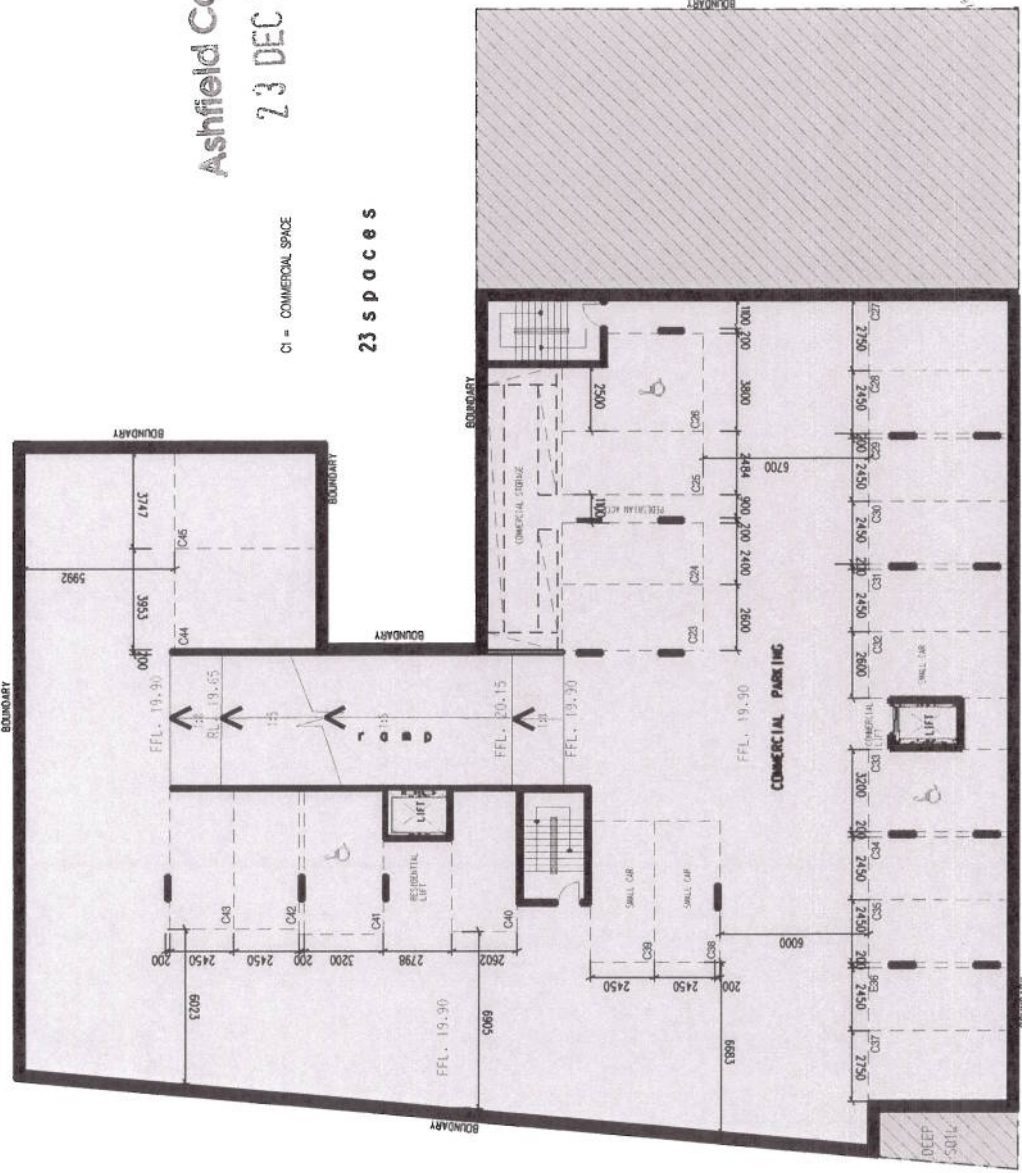
LEGEND

15	CONCRETE	15	SMALL TILE	20	RESIDENTIAL HT
16	SMALL CARPET	16	CONCRETE	21	SMALL TILES
17	SMALL CARPET	17	SMALL CARPET	22	SMALL CARPET
18	SMALL CARPET	18	SMALL CARPET	23	SMALL CARPET
19	SMALL CARPET	19	SMALL CARPET	24	SMALL CARPET
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21	SMALL CARPET	21	SMALL CARPET	26	SMALL CARPET
22	SMALL CARPET	22	SMALL CARPET	27	SMALL CARPET
23	SMALL CARPET	23	SMALL CARPET	28	SMALL CARPET
24	SMALL CARPET	24	SMALL CARPET	29	SMALL CARPET
25	SMALL CARPET	25	SMALL CARPET	30	SMALL CARPET

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23 DEC 2009

CI - COMMERCIAL SPACE
23 S P A C E S



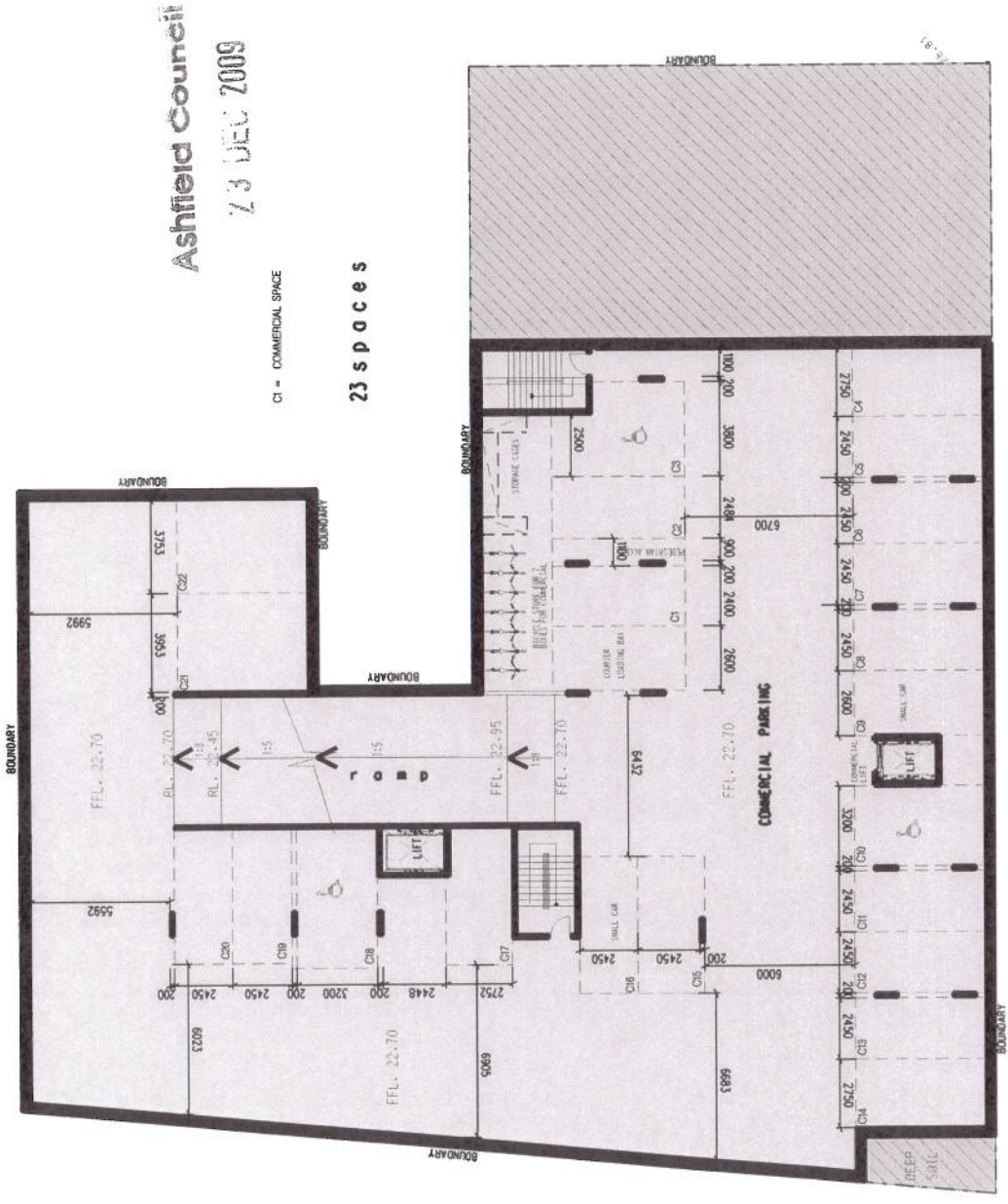
SECOND BASEMENT PLAN

PROPOSED DEVELOPMENT @ 11-13 HERCULES STREET ASHFIELD	DA - 04
	SECOND BASEMENT PLAN

cm t CONSTRUCTION MANAGEMENT TECHNOLOGIES	NORTH
DATE 07.12.09	SCALE 1:100 @ A1/ 1:200 @ A3
CUSTOMER CODE: 10017102013	FILE NO: 1012

LEGEND	<ul style="list-style-type: none"> FF - FLOOR FINISH PC - POLISHED CONCRETE CA - CONCRETE SLAB SC - STRUCTURAL STEEL CF - CONCRETE FINISH CG - CONCRETE GIRDER CD - CONCRETE DECK CF - CONCRETE FINISH CG - CONCRETE GIRDER CD - CONCRETE DECK
FINISHES	<ul style="list-style-type: none"> RF - FLOOR FINISH PC - POLISHED CONCRETE CA - CONCRETE SLAB SC - STRUCTURAL STEEL CF - CONCRETE FINISH CG - CONCRETE GIRDER CD - CONCRETE DECK

REVISIONS	<ul style="list-style-type: none"> NO. DATE BY DESCRIPTION 01 07/12/09 [] [] [] []
PROJECT INFORMATION	<ul style="list-style-type: none"> DATE 07/12/09 SCALE 1:100 @ A1/ 1:200 @ A3 CUSTOMER CODE: 10017102013 FILE NO: 1012



Ashfield Council
23 DEC 2009

C1 = COMMERCIAL SPACE
23 spaces

FIRST BASEMENT PLAN

PROPOSED DEVELOPMENT @ 11-13 HERCULES STREET ASHFIELD		DA - 05 DATE 07-12-09 SCALE 1:100 @ A1/ 1:200 @ A3 DRAWING NUMBER 20031-1113AS-02-REV. NO. 5-07	
SHEET 23 OF 24 TOTAL SHEETS 23 OF 24		SHEET 23 OF 24 TOTAL SHEETS 23 OF 24	
SHEET 23 OF 24 TOTAL SHEETS 23 OF 24		SHEET 23 OF 24 TOTAL SHEETS 23 OF 24	

- PAVING AND FINISHES**
- ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARD BS 5400 PART 1 AND 2.
 - ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARD BS 5400 PART 1 AND 2.
 - ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARD BS 5400 PART 1 AND 2.
- TRAFFIC**
- ALL VEHICLES SHALL BE PERMITTED TO USE THE ROAD.
 - ALL VEHICLES SHALL BE PERMITTED TO USE THE ROAD.
 - ALL VEHICLES SHALL BE PERMITTED TO USE THE ROAD.
- ENVIRONMENT**
- ALL VEHICLES SHALL BE PERMITTED TO USE THE ROAD.
 - ALL VEHICLES SHALL BE PERMITTED TO USE THE ROAD.
 - ALL VEHICLES SHALL BE PERMITTED TO USE THE ROAD.

- PROPOSED DEVELOPMENT @ 11-13 HERCULES STREET ASHFIELD**
- GROUND FLOOR PLAN**
- DA - 06
DATE 07.12.09
SCALE 1:100 @ A1 / 1:200 @ A3

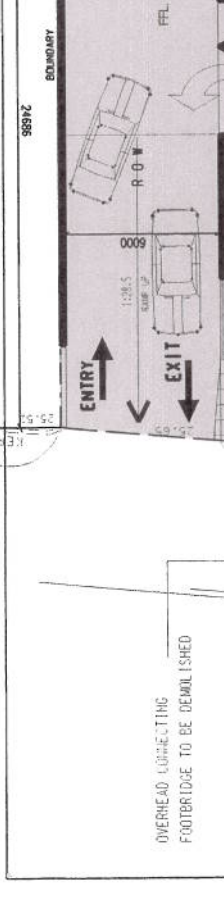
NOTE:

- PROVISION OF FOOTPATH ALONG TO BE FOR PEDESTRIAN USE. PAVED WITH PRECAST CONCRETE PAVERS EQUAL TO THOSE LAID IN LIVERPOOL ROAD
- ALIGNMENT OF THE ROADWAY HEAD IN THIS LANE TO ENABLE FUTURE PASSAGE OF LARGE VEHICLES INTO ADJACENT SITES FOR FUTURE DEVELOPMENTS
- PROVISION OF STANDING AREA FOR THE VEHICLE COMMERCIAL DELIVERY TRUCKS IN THIS LANE. PAVED SO THAT IT MAY HAVE A DUAL USE BY PEDESTRIANS
- PATHWAY BETWEEN HERCULES STREET AND FOX LANE TO COMPRISE OF PAVERS OF PAVERS TO THOSE LAID IN LIVERPOOL ROAD
- LANDSCAPING ADJACENT TO FOX LANE WILL COMPRISE TREES WITH AN INITIAL HEIGHT OF 2.5 MTS.

ASHFIELD COUNCIL

23 DEC 2009

HERCULES STREET



LEGEND

- 1. FUTURE DEVELOPMENT
- 2. EXISTING BUILDING
- 3. EXISTING FOOTPATH
- 4. EXISTING DRIVEWAY
- 5. EXISTING WALL
- 6. EXISTING WINDOW
- 7. EXISTING DOOR
- 8. EXISTING STAIR
- 9. EXISTING LIFT
- 10. EXISTING ROOF
- 11. EXISTING FLOOR
- 12. EXISTING CEILING
- 13. EXISTING LIGHTING
- 14. EXISTING PLUMBING
- 15. EXISTING ELECTRICAL
- 16. EXISTING MECHANICAL
- 17. EXISTING STRUCTURAL
- 18. EXISTING FINISHES
- 19. EXISTING LANDSCAPE
- 20. EXISTING TREES
- 21. EXISTING FENCES
- 22. EXISTING GATES
- 23. EXISTING SIGNAGE
- 24. EXISTING UTILITIES
- 25. EXISTING SERVICES
- 26. EXISTING DRAINAGE
- 27. EXISTING PAVEMENT
- 28. EXISTING CURBS
- 29. EXISTING KERBS
- 30. EXISTING TROTTERS
- 31. EXISTING CYCLEWAYS
- 32. EXISTING BIWAYS
- 33. EXISTING BRIDGES
- 34. EXISTING TUNNELS
- 35. EXISTING UNDERPASS
- 36. EXISTING OVERPASS
- 37. EXISTING TOWER
- 38. EXISTING MAST
- 39. EXISTING ANTENNA
- 40. EXISTING TELEPHONE
- 41. EXISTING CABLE
- 42. EXISTING OPTICAL
- 43. EXISTING COAXIAL
- 44. EXISTING POWER
- 45. EXISTING WATER
- 46. EXISTING GAS
- 47. EXISTING HEATING
- 48. EXISTING AIR
- 49. EXISTING REFRIGERATION
- 50. EXISTING CLIMATE
- 51. EXISTING SOUND
- 52. EXISTING VIBRATION
- 53. EXISTING POLLUTION
- 54. EXISTING RADIATION
- 55. EXISTING ELECTROMAGNETIC
- 56. EXISTING INTERFERENCE
- 57. EXISTING SECURITY
- 58. EXISTING DEFENCE
- 59. EXISTING INTELLIGENCE
- 60. EXISTING COMMUNICATIONS
- 61. EXISTING TRANSPORTATION
- 62. EXISTING INFRASTRUCTURE
- 63. EXISTING UTILITIES
- 64. EXISTING SERVICES
- 65. EXISTING DRAINAGE
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- 88. EXISTING CLIMATE
- 89. EXISTING SOUND
- 90. EXISTING VIBRATION
- 91. EXISTING POLLUTION
- 92. EXISTING RADIATION
- 93. EXISTING ELECTROMAGNETIC
- 94. EXISTING INTERFERENCE
- 95. EXISTING SECURITY
- 96. EXISTING DEFENCE
- 97. EXISTING INTELLIGENCE
- 98. EXISTING COMMUNICATIONS
- 99. EXISTING TRANSPORTATION
- 100. EXISTING INFRASTRUCTURE

PROPOSED DEVELOPMENT @ 11-13 HERCULES STREET ASHFIELD

GROUND FLOOR PLAN

DA - 06
DATE 07.12.09
SCALE 1:100 @ A1 / 1:200 @ A3

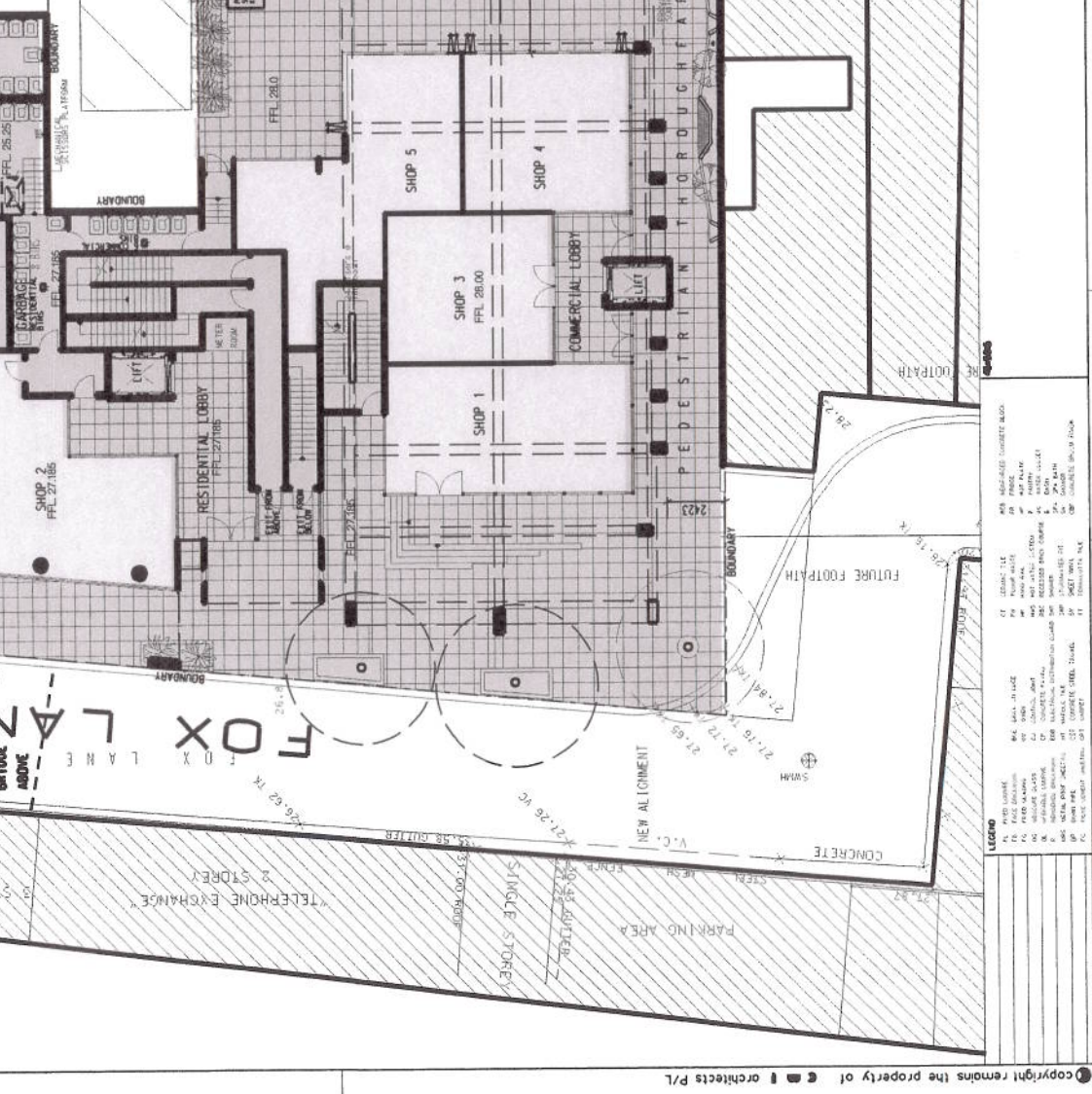
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ASHFIELD COUNCIL

23 DEC 2009

HERCULES STREET



LEGEND

- 1. FUTURE DEVELOPMENT
- 2. EXISTING BUILDING
- 3. EXISTING FOOTPATH
- 4. EXISTING DRIVEWAY
- 5. EXISTING WALL
- 6. EXISTING WINDOW
- 7. EXISTING DOOR
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- 47. EXISTING AIR
- 48. EXISTING REFRIGERATION
- 49. EXISTING CLIMATE
- 50. EXISTING SOUND
- 51. EXISTING VIBRATION
- 52. EXISTING POLLUTION
- 53. EXISTING RADIATION
- 54. EXISTING ELECTROMAGNETIC
- 55. EXISTING INTERFERENCE
- 56. EXISTING SECURITY
- 57. EXISTING DEFENCE
- 58. EXISTING INTELLIGENCE
- 59. EXISTING COMMUNICATIONS
- 60. EXISTING TRANSPORTATION
- 61. EXISTING INFRASTRUCTURE

PROPOSED DEVELOPMENT @ 11-13 HERCULES STREET ASHFIELD

GROUND FLOOR PLAN

DA - 06
DATE 07.12.09
SCALE 1:100 @ A1 / 1:200 @ A3

NOTE:

- PROVISION OF FOOTPATH ALONG TO BE FOR PEDESTRIAN USE. PAVED WITH PRECAST CONCRETE PAVERS EQUAL TO THOSE LAID IN LIVERPOOL ROAD
- ALIGNMENT OF THE ROADWAY HEAD IN THIS LANE TO ENABLE FUTURE PASSAGE OF LARGE VEHICLES INTO ADJACENT SITES FOR FUTURE DEVELOPMENTS
- PROVISION OF STANDING AREA FOR THE VEHICLE COMMERCIAL DELIVERY TRUCKS IN THIS LANE. PAVED SO THAT IT MAY HAVE A DUAL USE BY PEDESTRIANS
- PATHWAY BETWEEN HERCULES STREET AND FOX LANE TO COMPRISE OF PAVERS OF PAVERS TO THOSE LAID IN LIVERPOOL ROAD
- LANDSCAPING ADJACENT TO FOX LANE WILL COMPRISE TREES WITH AN INITIAL HEIGHT OF 2.5 MTS.

ASHFIELD COUNCIL

23 DEC 2009

HERCULES STREET

REVISIONS

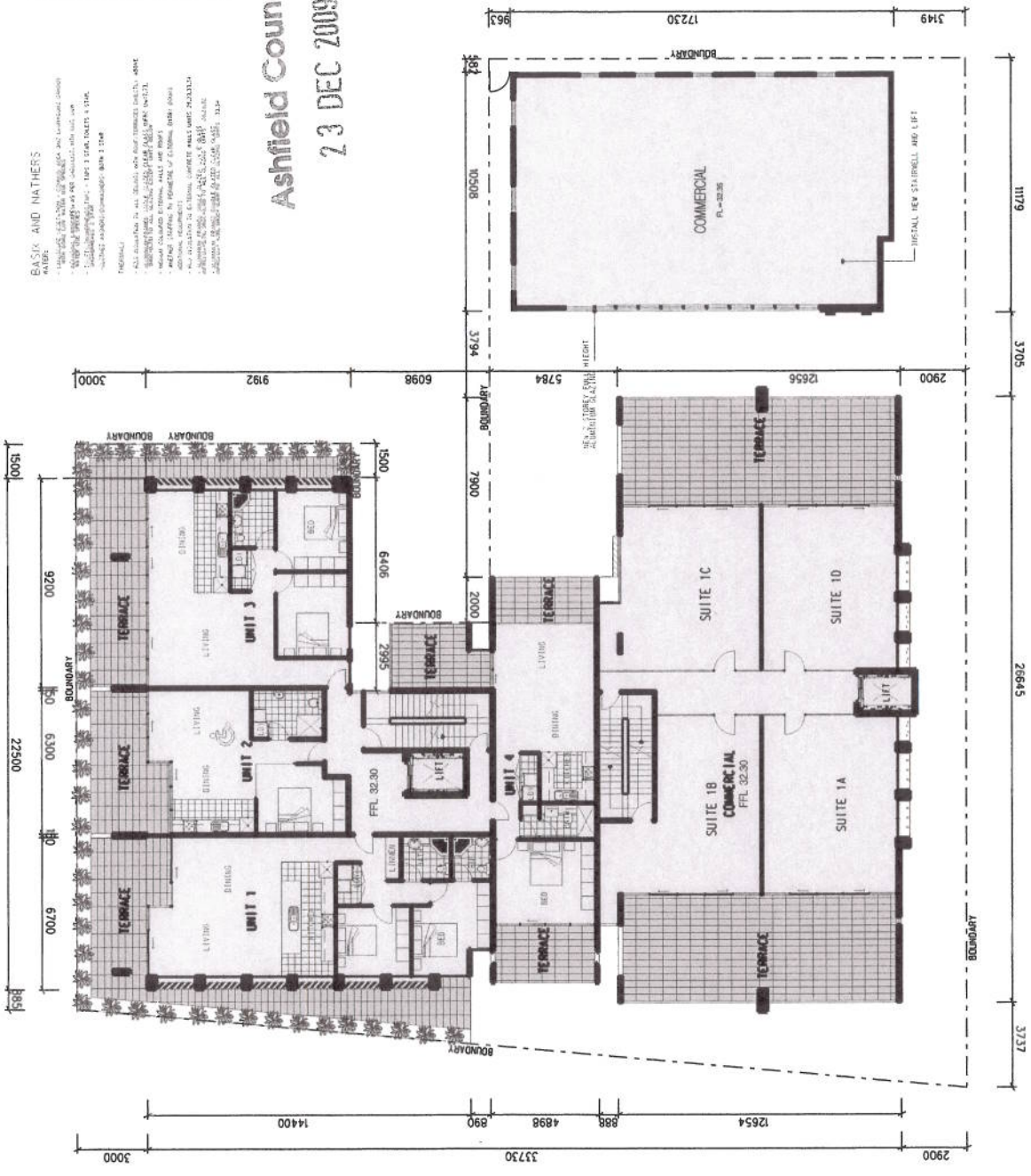
- 1. CHECKED - ALL DIMENSIONS, ANNOTATIONS, NOTES, AND TITLES TO BE CORRECTED AND RE-DRAWN.
- 2. CHECKED - ALL DIMENSIONS, ANNOTATIONS, NOTES, AND TITLES TO BE CORRECTED AND RE-DRAWN.
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- 10. CHECKED - ALL DIMENSIONS, ANNOTATIONS, NOTES, AND TITLES TO BE CORRECTED AND RE-DRAWN.

DATE: 23 DEC 2009

- 1. CHECKED - ALL DIMENSIONS, ANNOTATIONS, NOTES, AND TITLES TO BE CORRECTED AND RE-DRAWN.
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Ashfield Council

23 DEC 2009



FIRST FLOOR PLAN

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

FIRST FLOOR PLAN

DA - 08

DATE: 07.12.09

SCALE: 1:100 @ A1/ 1:200 @ A3

FORM: ARCHITECTURE - CHS 15102105 - REC. 10.12.07

cmt
architects

NORTH

LEGEND

1	WALL
2	DOOR
3	WINDOW
4	GLASS
5	CEILING
6	FLOOR
7	STAIR
8	LIFT
9	TERRACE
10	PLANT
11	MECHANICAL
12	MECHANICAL
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DATE: 23 DEC 2009

SCALE: 1:100 @ A1/ 1:200 @ A3

FORM: ARCHITECTURE - CHS 15102105 - REC. 10.12.07

NOTES:

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES AND MATERIALS.
- 3. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR SERVICES.
- 4. REFER TO STRUCTURAL DRAWINGS FOR BEAMS AND SLABS.
- 5. REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR TERRACES AND PLANTING.
- 6. REFER TO CIVIL ENGINEERING DRAWINGS FOR DRIVEWAYS AND PAVING.
- 7. REFER TO ENVIRONMENTAL ENGINEERING DRAWINGS FOR VENTILATION AND HEATING.
- 8. REFER TO COST ESTIMATE DRAWINGS FOR MATERIALS AND LABOR.
- 9. REFER TO SCHEDULES FOR FINISHES AND MATERIALS.
- 10. REFER TO SPECIFICATIONS FOR CONSTRUCTION METHODS.
- 11. REFER TO LOCAL BUILDING REGULATIONS FOR COMPLIANCE.
- 12. REFER TO LOCAL PLANNING REGULATIONS FOR APPROVALS.
- 13. REFER TO LOCAL ZONING REGULATIONS FOR COMPLIANCE.
- 14. REFER TO LOCAL UTILITY REGULATIONS FOR SERVICES.
- 15. REFER TO LOCAL ENVIRONMENTAL REGULATIONS FOR COMPLIANCE.
- 16. REFER TO LOCAL FIRE SAFETY REGULATIONS FOR COMPLIANCE.
- 17. REFER TO LOCAL ACCESSIBILITY REGULATIONS FOR COMPLIANCE.
- 18. REFER TO LOCAL SOUND ABATEMENT REGULATIONS FOR COMPLIANCE.
- 19. REFER TO LOCAL ENERGY EFFICIENCY REGULATIONS FOR COMPLIANCE.
- 20. REFER TO LOCAL WATER EFFICIENCY REGULATIONS FOR COMPLIANCE.
- 21. REFER TO LOCAL AIR QUALITY REGULATIONS FOR COMPLIANCE.
- 22. REFER TO LOCAL CLIMATE RESILIENCE REGULATIONS FOR COMPLIANCE.
- 23. REFER TO LOCAL CULTURAL HERITAGE REGULATIONS FOR COMPLIANCE.
- 24. REFER TO LOCAL HISTORIC PRESERVATION REGULATIONS FOR COMPLIANCE.
- 25. REFER TO LOCAL ARCHITECTURAL HERITAGE REGULATIONS FOR COMPLIANCE.
- 26. REFER TO LOCAL LANDSCAPE ARCHITECTURE REGULATIONS FOR COMPLIANCE.
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25. REFER TO LOCAL ARCHITECTURAL HERITAGE REGULATIONS FOR COMPLIANCE.

26. REFER TO LOCAL LANDSCAPE ARCHITECTURE REGULATIONS FOR COMPLIANCE.

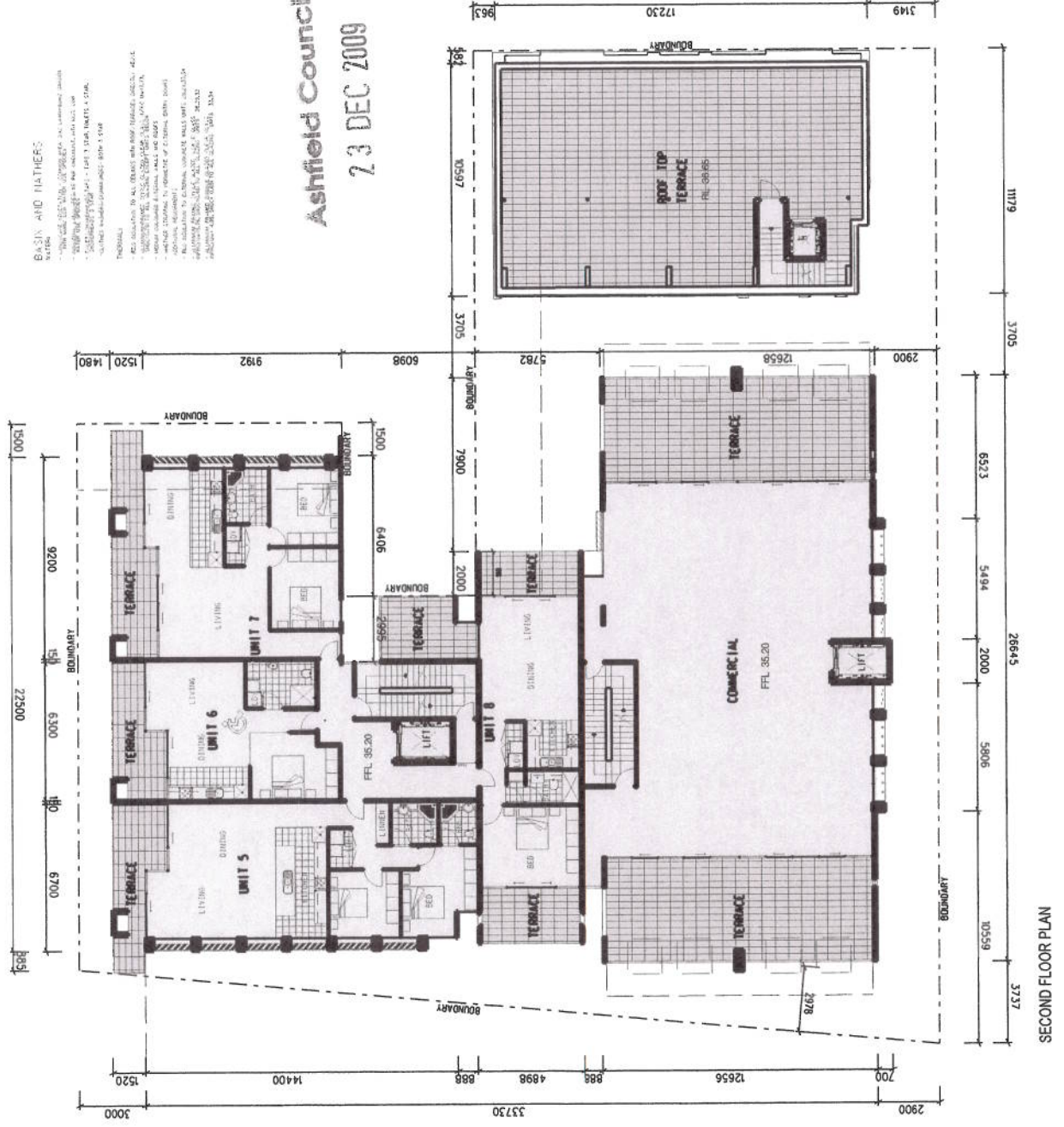
27. REFER TO LOCAL CIVIL ENGINEERING REGULATIONS FOR COMPLIANCE.

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29. REFER TO LOCAL COST ESTIMATE REGULATIONS FOR COMPLIANCE.

30. REFER TO LOCAL SPECIFICATIONS REGULATIONS FOR COMPLIANCE.

Ashfield Council
23 DEC 2009



SECOND FLOOR PLAN

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

SECOND FLOOR PLAN

DA - 09
 DATE: 07.12.09
 SCALE: 1:100 @ A1/1:200 @ A3
 DRAWING NUMBER: 1113/01/02 - REV. 1/24



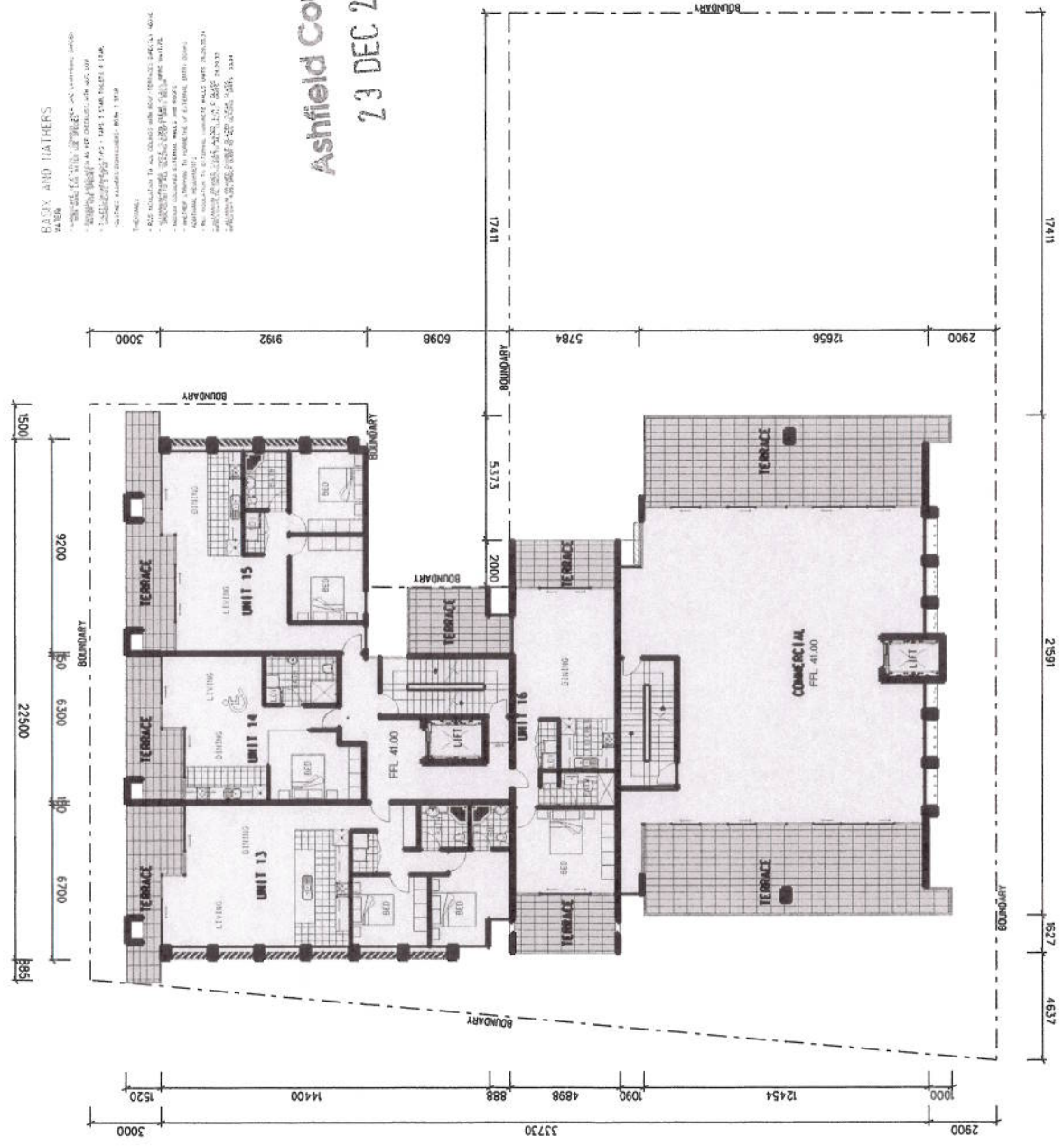
cm t
 CONSULTING ARCHITECTS
 1113 HERCULES STREET
 ASHFIELD
 NSW 4212
 PH: 02 9557 4122
 FAX: 02 9557 4123
 WWW.CMT.AU

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BACK AND HATHERS

- 1. ALL WORK TO BE COMPLETED WITHIN THE PERMITTED TIME FRAME.
- 2. ALL WORK TO BE COMPLETED WITHIN THE PERMITTED TIME FRAME.
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Ashfield Council
23 DEC 2009



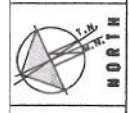
FOURTH FLOOR PLAN

	DA - 11 DATE 07.12.09 SCALE 1:100 @ A1 / 1:200 @ A3 DRAWING NUMBER 10111110000 - REC. 16. 1112
	PROPOSED DEVELOPMENT @ 11-13 HERCULES STREET ASHFIELD FOURTH FLOOR PLAN
	cmt CONSULTANTS 11-13 HERCULES STREET ASHFIELD TEL: 01470 42333 FAX: 01470 42333 WWW.CMT.CO.UK
LEGEND 01 CONCRETE 02 CONCRETE 03 CONCRETE 04 CONCRETE 05 CONCRETE 06 CONCRETE 07 CONCRETE 08 CONCRETE 09 CONCRETE 10 CONCRETE 11 CONCRETE 12 CONCRETE 13 CONCRETE 14 CONCRETE 15 CONCRETE 16 CONCRETE 17 CONCRETE 18 CONCRETE 19 CONCRETE 20 CONCRETE 21 CONCRETE 22 CONCRETE 23 CONCRETE 24 CONCRETE 25 CONCRETE 26 CONCRETE 27 CONCRETE 28 CONCRETE 29 CONCRETE 30 CONCRETE 31 CONCRETE 32 CONCRETE 33 CONCRETE 34 CONCRETE 35 CONCRETE 36 CONCRETE 37 CONCRETE 38 CONCRETE 39 CONCRETE 40 CONCRETE 41 CONCRETE 42 CONCRETE 43 CONCRETE 44 CONCRETE 45 CONCRETE 46 CONCRETE 47 CONCRETE 48 CONCRETE 49 CONCRETE 50 CONCRETE 51 CONCRETE 52 CONCRETE 53 CONCRETE 54 CONCRETE 55 CONCRETE 56 CONCRETE 57 CONCRETE 58 CONCRETE 59 CONCRETE 60 CONCRETE 61 CONCRETE 62 CONCRETE 63 CONCRETE 64 CONCRETE 65 CONCRETE 66 CONCRETE 67 CONCRETE 68 CONCRETE 69 CONCRETE 70 CONCRETE 71 CONCRETE 72 CONCRETE 73 CONCRETE 74 CONCRETE 75 CONCRETE 76 CONCRETE 77 CONCRETE 78 CONCRETE 79 CONCRETE 80 CONCRETE 81 CONCRETE 82 CONCRETE 83 CONCRETE 84 CONCRETE 85 CONCRETE 86 CONCRETE 87 CONCRETE 88 CONCRETE 89 CONCRETE 90 CONCRETE 91 CONCRETE 92 CONCRETE 93 CONCRETE 94 CONCRETE 95 CONCRETE 96 CONCRETE 97 CONCRETE 98 CONCRETE 99 CONCRETE 100 CONCRETE	01 UNPAVED AREA 02 PAVED AREA 03 PAVED AREA 04 PAVED AREA 05 PAVED AREA 06 PAVED AREA 07 PAVED AREA 08 PAVED AREA 09 PAVED AREA 10 PAVED AREA 11 PAVED AREA 12 PAVED AREA 13 PAVED AREA 14 PAVED AREA 15 PAVED AREA 16 PAVED AREA 17 PAVED AREA 18 PAVED AREA 19 PAVED AREA 20 PAVED AREA 21 PAVED AREA 22 PAVED AREA 23 PAVED AREA 24 PAVED AREA 25 PAVED AREA 26 PAVED AREA 27 PAVED AREA 28 PAVED AREA 29 PAVED AREA 30 PAVED AREA 31 PAVED AREA 32 PAVED AREA 33 PAVED AREA 34 PAVED AREA 35 PAVED AREA 36 PAVED AREA 37 PAVED AREA 38 PAVED AREA 39 PAVED AREA 40 PAVED AREA 41 PAVED AREA 42 PAVED AREA 43 PAVED AREA 44 PAVED AREA 45 PAVED AREA 46 PAVED AREA 47 PAVED AREA 48 PAVED AREA 49 PAVED AREA 50 PAVED AREA 51 PAVED AREA 52 PAVED AREA 53 PAVED AREA 54 PAVED AREA 55 PAVED AREA 56 PAVED AREA 57 PAVED AREA 58 PAVED AREA 59 PAVED AREA 60 PAVED AREA 61 PAVED AREA 62 PAVED AREA 63 PAVED AREA 64 PAVED AREA 65 PAVED AREA 66 PAVED AREA 67 PAVED AREA 68 PAVED AREA 69 PAVED AREA 70 PAVED AREA 71 PAVED AREA 72 PAVED AREA 73 PAVED AREA 74 PAVED AREA 75 PAVED AREA 76 PAVED AREA 77 PAVED AREA 78 PAVED AREA 79 PAVED AREA 80 PAVED AREA 81 PAVED AREA 82 PAVED AREA 83 PAVED AREA 84 PAVED AREA 85 PAVED AREA 86 PAVED AREA 87 PAVED AREA 88 PAVED AREA 89 PAVED AREA 90 PAVED AREA 91 PAVED AREA 92 PAVED AREA 93 PAVED AREA 94 PAVED AREA 95 PAVED AREA 96 PAVED AREA 97 PAVED AREA 98 PAVED AREA 99 PAVED AREA 100 PAVED AREA

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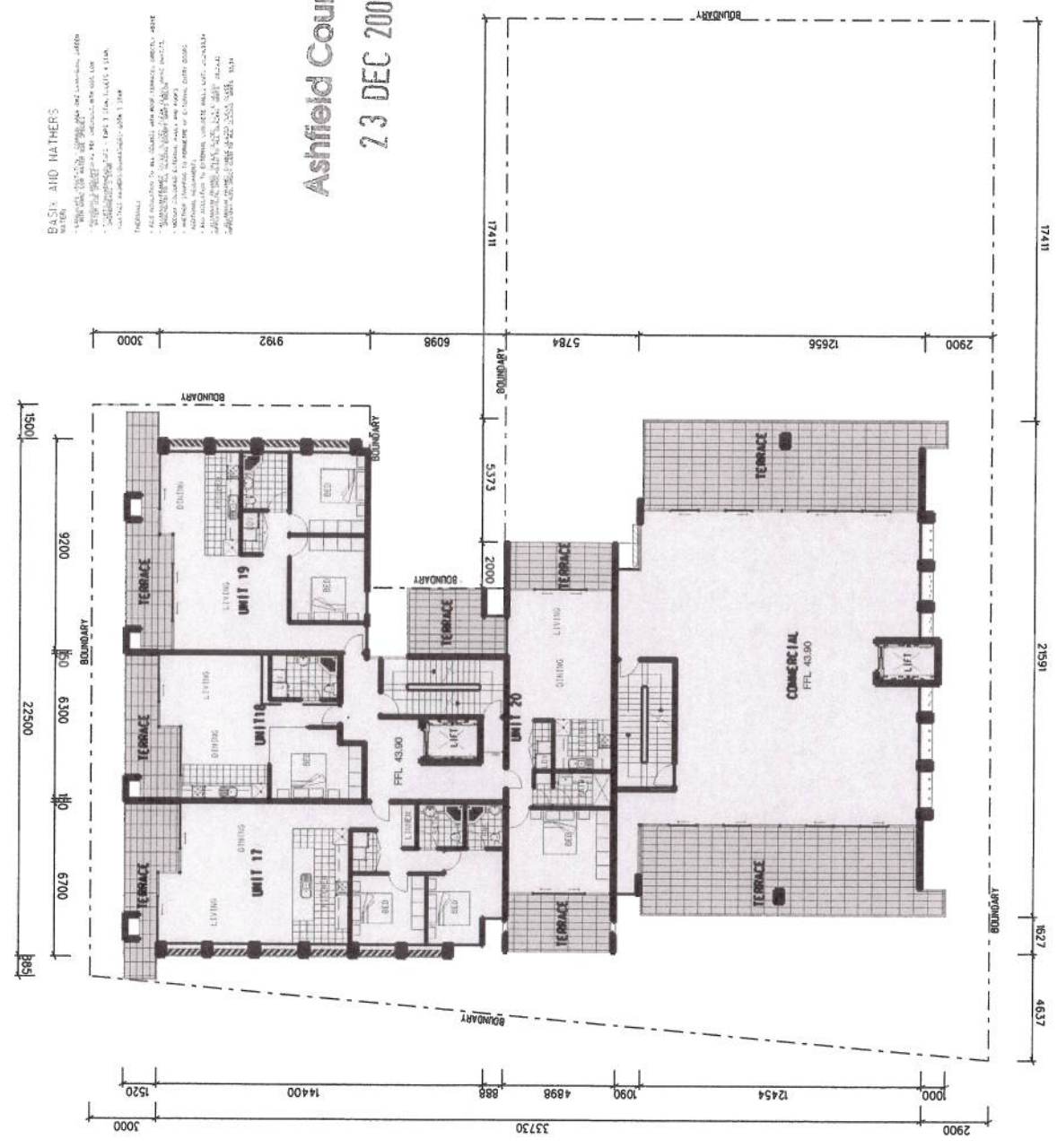


PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

DA - 12
DATE 07.12.09
SCALE 1:100 @ A1/1:200 @ A3
PROJECT NO. 07.12.09

FIFTH FLOOR PLAN

NPLA FLOOR FIFTH



Ashfield Council
23 DEC 2009

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.
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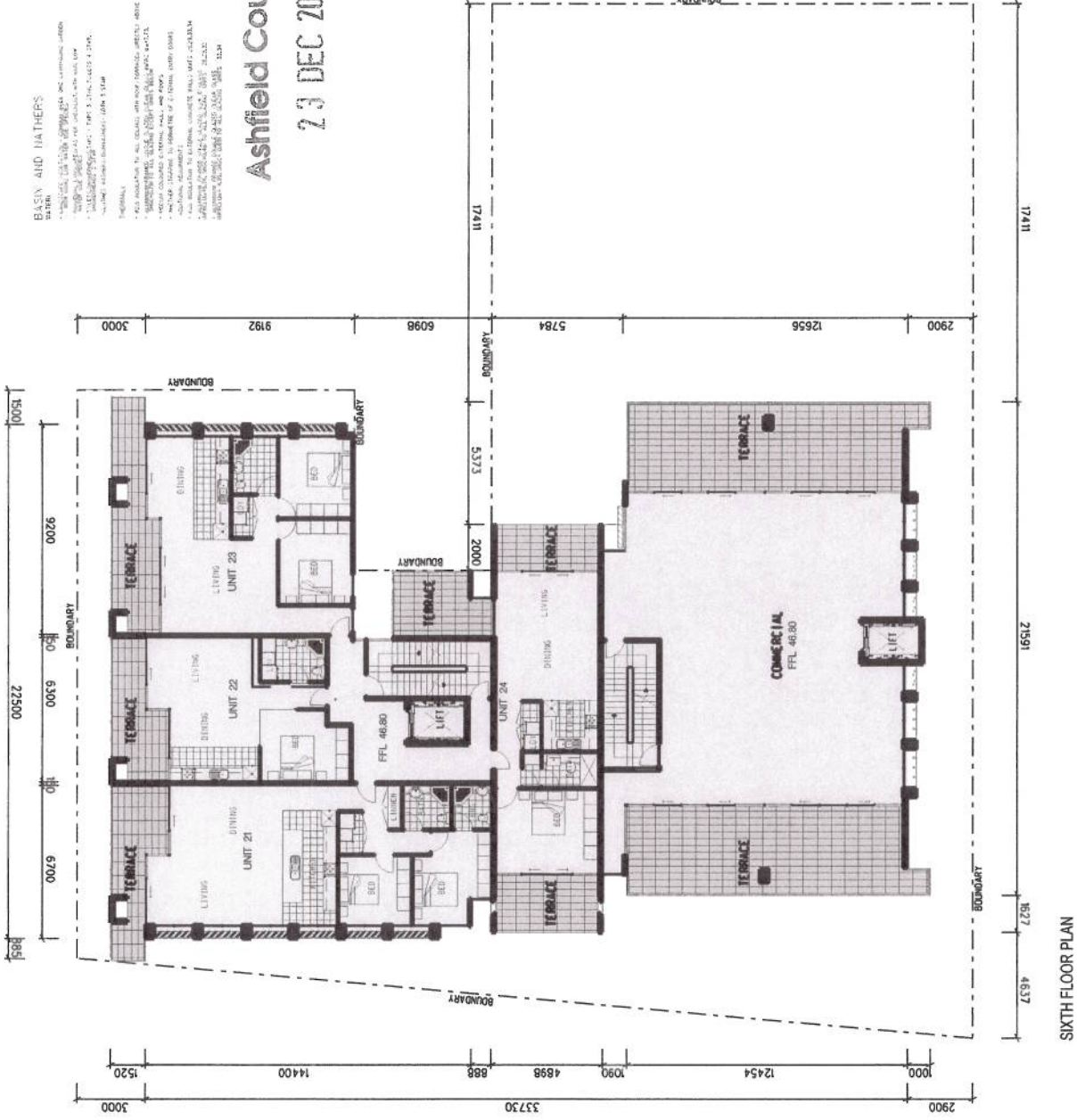
LEGEND:

- 1. WALL
- 2. WINDOW
- 3. DOOR
- 4. STAIR
- 5. LIFT
- 6. TERRACE
- 7. BALCONY
- 8. ROOF
- 9. FLOOR
- 10. CEILING
- 11. LIGHT
- 12. VENT
- 13. SIGN
- 14. FURNITURE
- 15. EQUIPMENT
- 16. PLANT
- 17. STRUCTURE
- 18. FINISH
- 19. MATERIAL
- 20. COLOR

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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Ashfield Council
 23 DEC 2009



SIXTH FLOOR PLAN

DA - 13
 DATE 07.12.09
 SCALE 1:100 @ A1/ 1:200 @ A3
 PROPOSED DEVELOPMENT @
 11-13 HERCULES STREET
 ASHFIELD
 SIXTH FLOOR PLAN

cmt
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 11-13 HERCULES STREET
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NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07/12/09
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10	ISSUED FOR PERMIT	07/12/09

NOTES:

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL WALLS ARE TO BE CONCRETE BLOCK UNLESS OTHERWISE NOTED.
- 3. ALL FLOORS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
- 4. ALL ROOFS ARE TO BE FLAT UNLESS OTHERWISE NOTED.
- 5. ALL ROOF DECKS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
- 6. ALL ROOF DECKS ARE TO BE FINISHED WITH 2" POLYURETHANE INSULATION.
- 7. ALL ROOF DECKS ARE TO BE FINISHED WITH 4" POLYURETHANE INSULATION.
- 8. ALL ROOF DECKS ARE TO BE FINISHED WITH 6" POLYURETHANE INSULATION.
- 9. ALL ROOF DECKS ARE TO BE FINISHED WITH 8" POLYURETHANE INSULATION.
- 10. ALL ROOF DECKS ARE TO BE FINISHED WITH 10" POLYURETHANE INSULATION.
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- 12. ALL ROOF DECKS ARE TO BE FINISHED WITH 14" POLYURETHANE INSULATION.
- 13. ALL ROOF DECKS ARE TO BE FINISHED WITH 16" POLYURETHANE INSULATION.
- 14. ALL ROOF DECKS ARE TO BE FINISHED WITH 18" POLYURETHANE INSULATION.
- 15. ALL ROOF DECKS ARE TO BE FINISHED WITH 20" POLYURETHANE INSULATION.
- 16. ALL ROOF DECKS ARE TO BE FINISHED WITH 22" POLYURETHANE INSULATION.
- 17. ALL ROOF DECKS ARE TO BE FINISHED WITH 24" POLYURETHANE INSULATION.
- 18. ALL ROOF DECKS ARE TO BE FINISHED WITH 26" POLYURETHANE INSULATION.
- 19. ALL ROOF DECKS ARE TO BE FINISHED WITH 28" POLYURETHANE INSULATION.
- 20. ALL ROOF DECKS ARE TO BE FINISHED WITH 30" POLYURETHANE INSULATION.

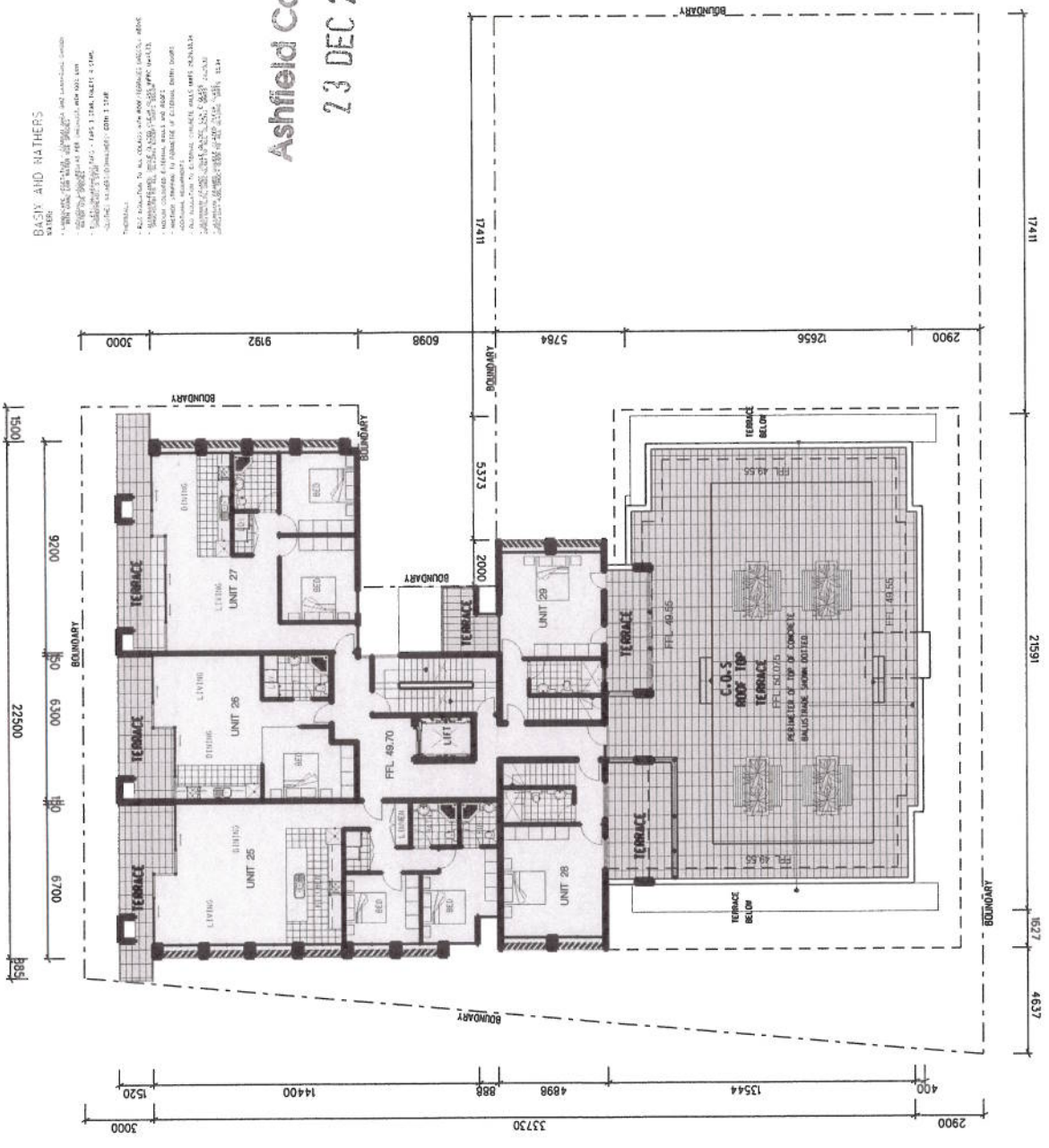
ASHFIELD AND MATHERS

11-13 HERCULES STREET
ASHFIELD

23 DEC 2009

Ashfield Council

23 DEC 2009

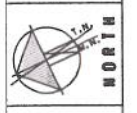


SEVENTH FLOOR PLAN

DA - 14
DATE: 07.12.09
SCALE: 1:100 @ A1/1:200 @ A3
DRAWING NUMBER: DA-14-001

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD
SEVENTH FLOOR PLAN

cmt
CONSTRUCTION MANAGEMENT TEAM



NO.	DESCRIPTION	DATE
1	ISSUED FOR TENDERS	07.12.09
2	ISSUED FOR APPROVAL	07.12.09
3	ISSUED FOR APPROVAL	07.12.09
4	ISSUED FOR APPROVAL	07.12.09
5	ISSUED FOR APPROVAL	07.12.09
6	ISSUED FOR APPROVAL	07.12.09
7	ISSUED FOR APPROVAL	07.12.09
8	ISSUED FOR APPROVAL	07.12.09
9	ISSUED FOR APPROVAL	07.12.09
10	ISSUED FOR APPROVAL	07.12.09

NO.	DESCRIPTION	DATE
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2	ISSUED FOR APPROVAL	07.12.09
3	ISSUED FOR APPROVAL	07.12.09
4	ISSUED FOR APPROVAL	07.12.09
5	ISSUED FOR APPROVAL	07.12.09
6	ISSUED FOR APPROVAL	07.12.09
7	ISSUED FOR APPROVAL	07.12.09
8	ISSUED FOR APPROVAL	07.12.09
9	ISSUED FOR APPROVAL	07.12.09
10	ISSUED FOR APPROVAL	07.12.09

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD
EIGHTH FLOOR PLAN

DA - 15
 DATE 07.12.09
 SCALE 1:100 @ A1/ 1:200 @ A3
 DRAWING NUMBER: 104117_11.12.09_001 - REV. NO. 1/27

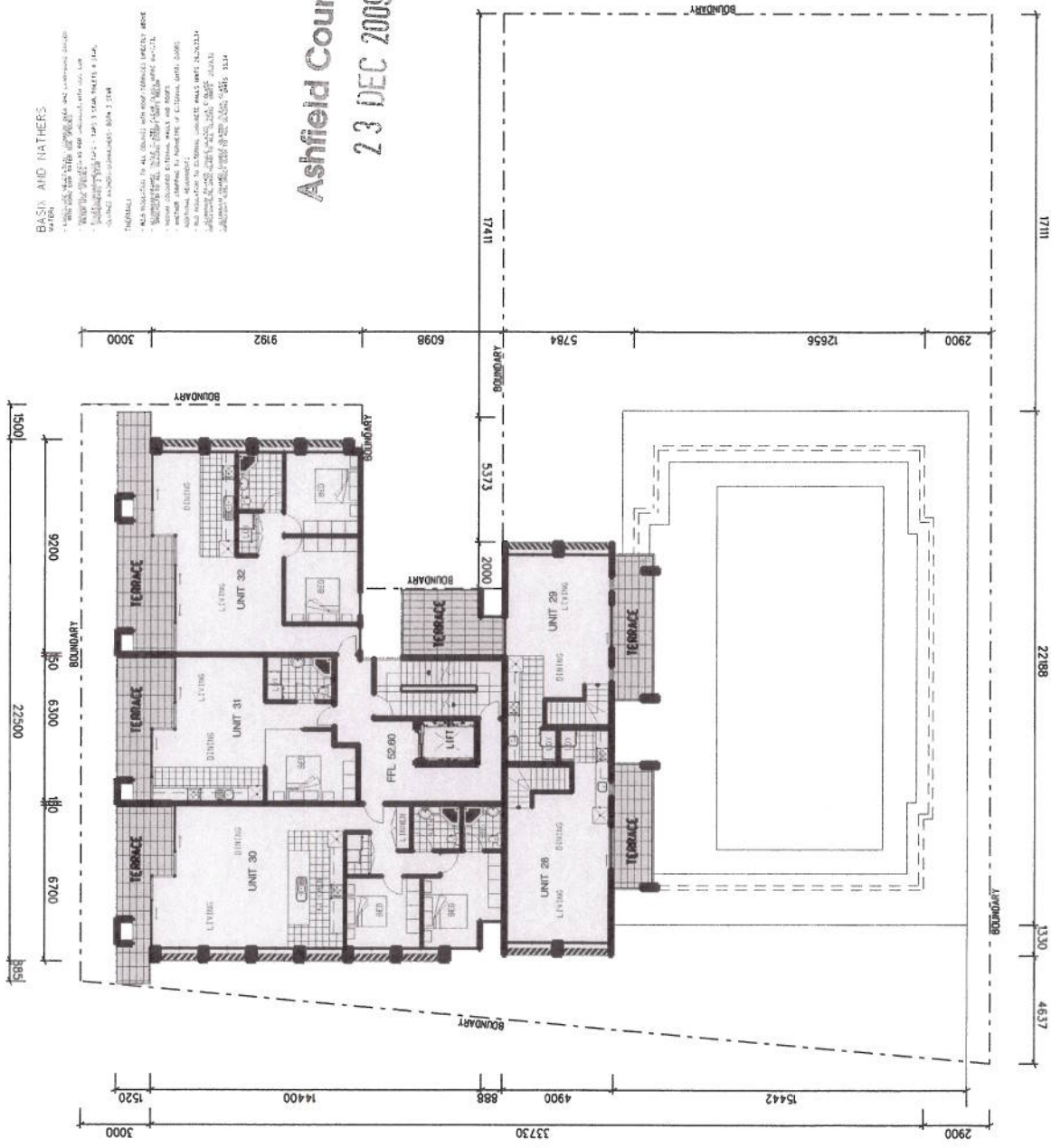
cm t
 architects

NORTH

104117_11.12.09_001.dwg
 11-13 Hercules Street
 Ashfield VIC 3031
 Tel: 03 9457 4339
 Fax: 03 9457 4337

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	07/12/09
2	REVISED PER PERMIT CONDITIONS	07/12/09
3	REVISED PER PERMIT CONDITIONS	07/12/09
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EIGHTH FLOOR PLAN



Ashfield Council
 23 DEC 2009

NOTES:

- 1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METRES TO CENTRE LINE.
- 2. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 5. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
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- 8. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 9. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 10. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.

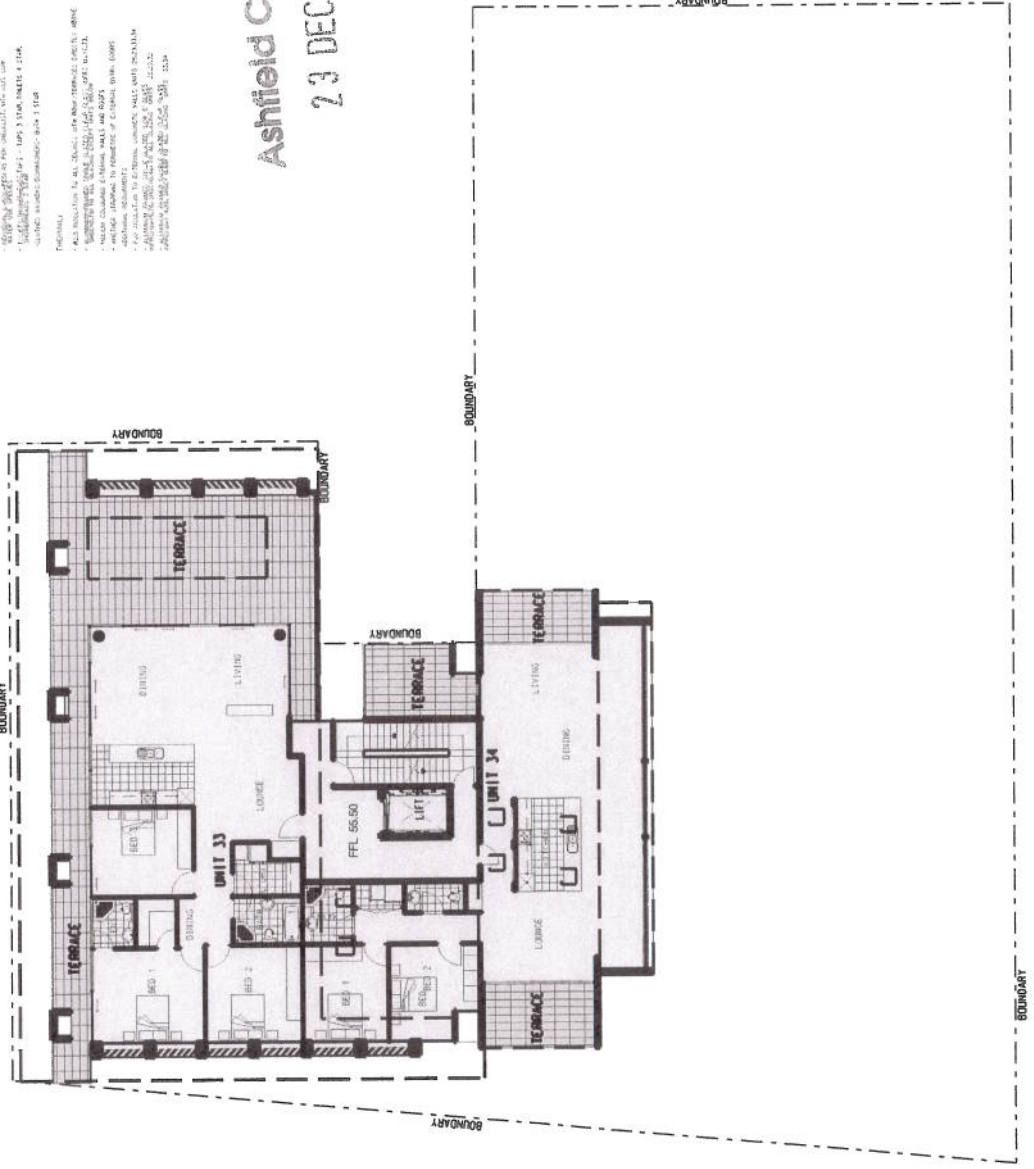
BASIA AND HATHERS:

- 1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METRES TO CENTRE LINE.
- 2. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
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- 5. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
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- 8. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 9. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- 10. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.

BASIC AND MATTERS

- 1. ALL INFORMATION IS TO BE CHECKED BY THE ARCHITECT BEFORE PROCEEDING WITH THE DESIGN.
- 2. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
- 3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
- 4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
- 5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
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- 9. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
- 10. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

Ashfield Council
23 DEC 2009



ROOF TOP PLAN

LEGEND

10	CONCRETE	10	CONCRETE
11	CONCRETE	11	CONCRETE
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PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD
ROOF TOP PLAN

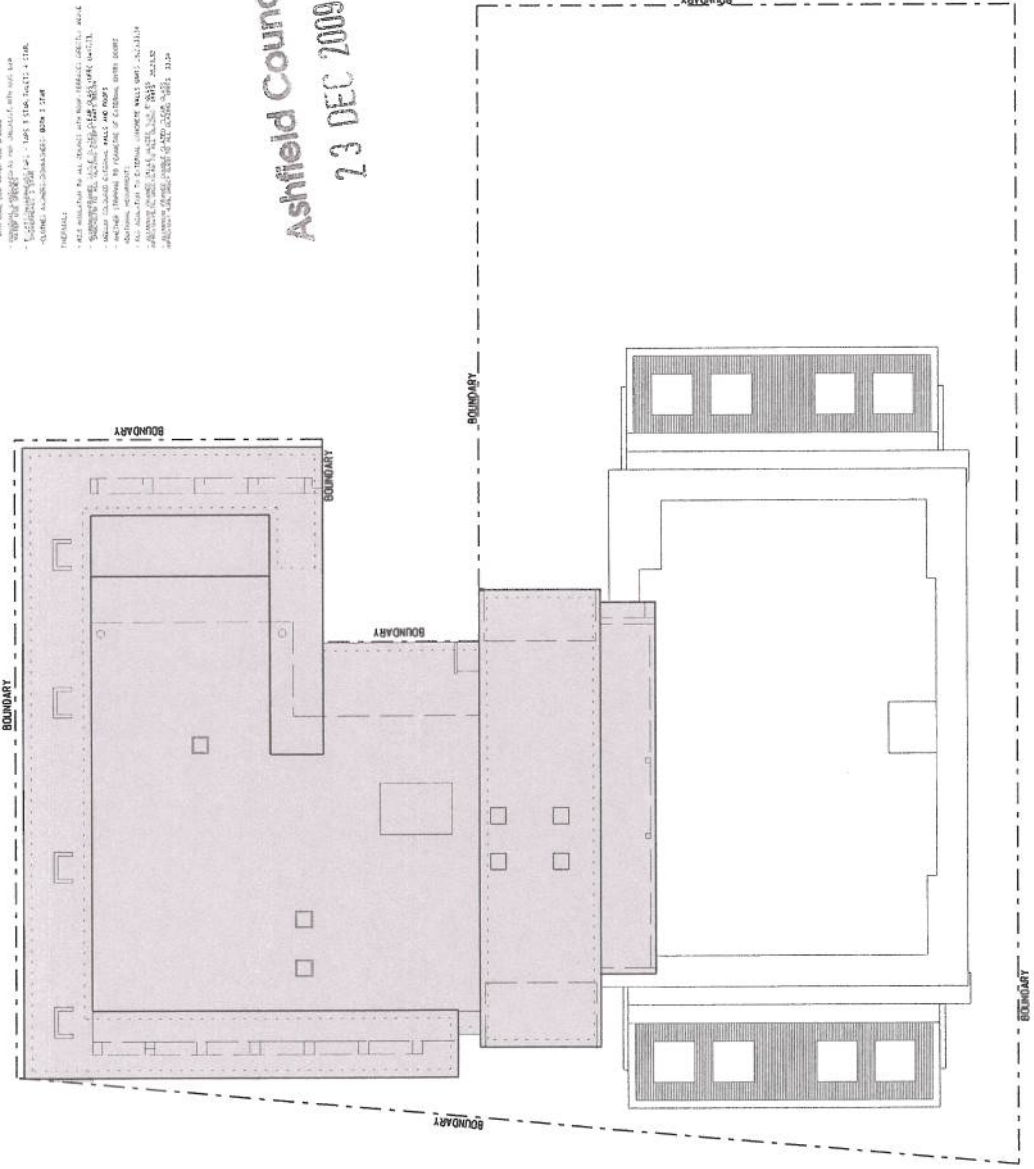
DA - 16
DATE 07.12.09
SCALE 1:100 @ A1 / 1:200 @ A3
DRAWING NUMBER 10113_HERCULES_A3

BASIS AND LIMITS

- THIS PLAN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS SUBJECT TO VERIFICATION BY THE ARCHITECT.
- THE ARCHITECT HAS CONDUCTED VISUAL SURVEYS AND HAS NOT CONDUCTED A PHYSICAL SURVEY OF THE SITE.
- THE ARCHITECT HAS ASSUMED THAT THE SITE IS FLAT AND THAT THERE ARE NO OBSTACLES TO CONSTRUCTION.
- THE ARCHITECT HAS ASSUMED THAT THE CLIENT HAS OBTAINED ALL NECESSARY CONSENTS AND PERMISSIONS.
- THE ARCHITECT HAS ASSUMED THAT THE CLIENT HAS OBTAINED ALL NECESSARY CONSENTS AND PERMISSIONS.

- NOTES**
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
 - ALL WALLS ARE 230MM THICK UNLESS OTHERWISE STATED.
 - ALL ROOFS ARE 10% FALL UNLESS OTHERWISE STATED.
 - ALL WINDOWS AND DOORS ARE AS SHOWN UNLESS OTHERWISE STATED.
 - ALL MATERIALS AND FINISHES ARE AS SHOWN UNLESS OTHERWISE STATED.
 - ALL SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
 - ALL SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
 - ALL SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
 - ALL SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.

Ashfield Council
23 DEC 2009



ROOF TOP PLAN

ENERGY

- ALL WALLS AND ROOFS TO BE INSULATED TO MEET THE REQUIREMENTS OF THE BUILDING REGULATIONS.
- ALL WINDOWS AND DOORS TO BE ENERGY EFFICIENT TO MEET THE REQUIREMENTS OF THE BUILDING REGULATIONS.
- ALL LIGHTING TO BE ENERGY EFFICIENT TO MEET THE REQUIREMENTS OF THE BUILDING REGULATIONS.
- ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
- ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
- ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
- ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.

PROJECT COMMENTS

- THE ARCHITECT HAS ASSUMED THAT THE CLIENT HAS OBTAINED ALL NECESSARY CONSENTS AND PERMISSIONS.
- THE ARCHITECT HAS ASSUMED THAT THE CLIENT HAS OBTAINED ALL NECESSARY CONSENTS AND PERMISSIONS.
- THE ARCHITECT HAS ASSUMED THAT THE CLIENT HAS OBTAINED ALL NECESSARY CONSENTS AND PERMISSIONS.
- THE ARCHITECT HAS ASSUMED THAT THE CLIENT HAS OBTAINED ALL NECESSARY CONSENTS AND PERMISSIONS.

DATE: 07.12.09

SCALE: 1:100 @ A1/4:200 @ A3

PROJECT NO: DA-17

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

ROOF PLAN

DA - 17

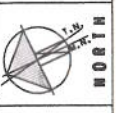
DATE: 07.12.09

SCALE: 1:100 @ A1/4:200 @ A3

PROJECT NO: DA-17

cmt architects

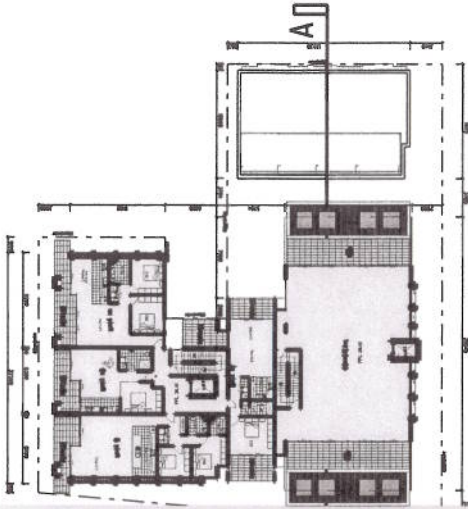
11-13 Hercules Street
Ashfield
Tel: 01924 433333
Fax: 01924 433334



LEGEND

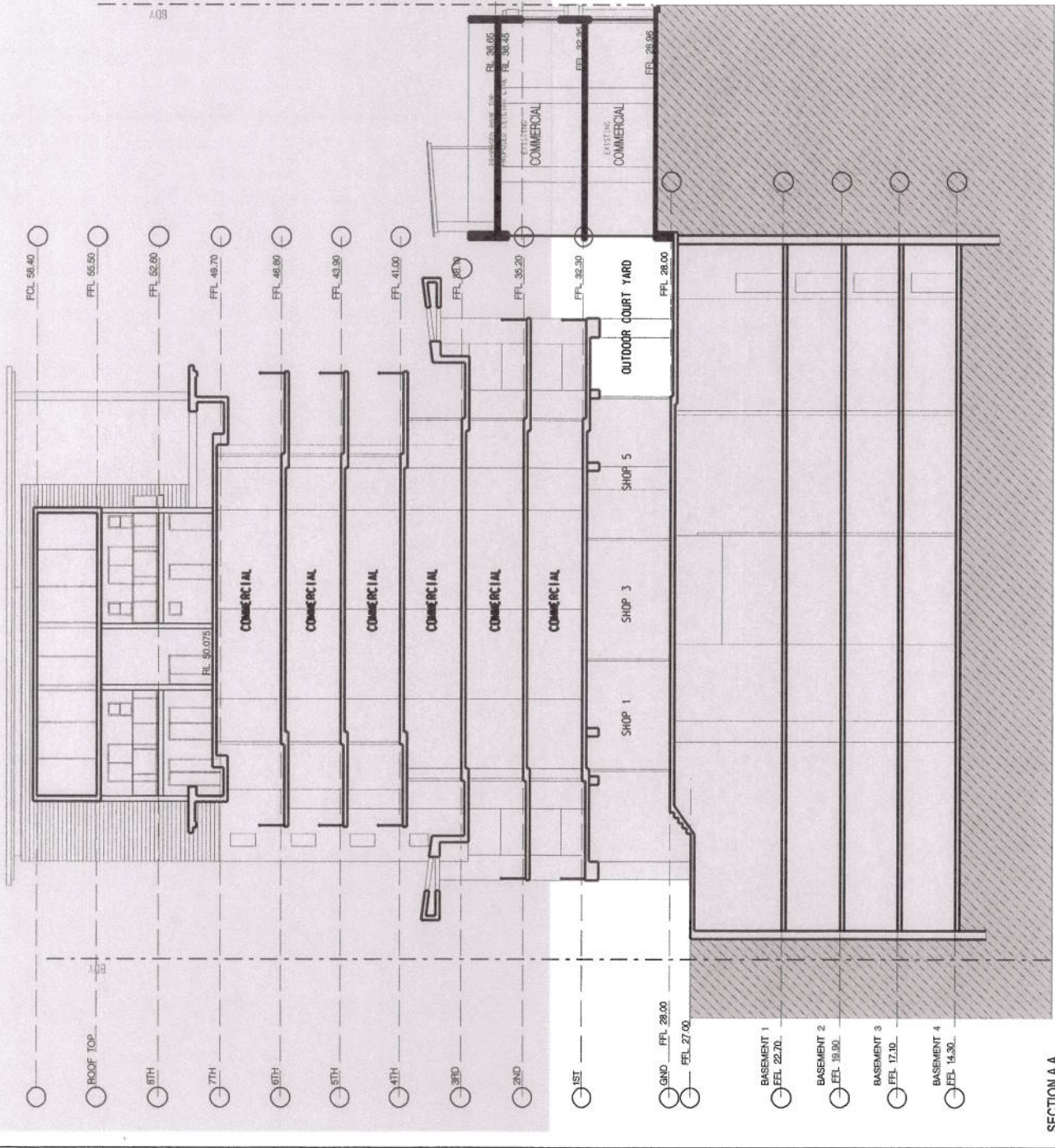
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200	NEW WALL	201	NEW WALL

REFERENCE KEY



Ashfield Council
23 DEC 2009

- BASIC AND MATTERS**
- ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2006.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE PLANNING ACT 2004.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE ENVIRONMENTAL ACT 1996.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE ROAD TRAFFIC ACT 1988.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FIRE SMOKE ACT 2003.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE ELECTRICITY ACT 1989.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE WATER SUPPLY ACT 1988.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE GAS ACT 1988.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE TOWN AND COUNTRY PLANNING ACT 1990.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE ENVIRONMENTAL ACT 1996.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE ROAD TRAFFIC ACT 1988.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FIRE SMOKE ACT 2003.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE ELECTRICITY ACT 1989.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE WATER SUPPLY ACT 1988.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE GAS ACT 1988.
 - ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE TOWN AND COUNTRY PLANNING ACT 1990.



SECTION A A

LEGEND

01	CONCRETE	01	CONCRETE
02	BRICK	02	BRICK
03	GLAZING	03	GLAZING
04	ROOFING	04	ROOFING
05	MECHANICAL	05	MECHANICAL
06	ELECTRICAL	06	ELECTRICAL
07	PLUMBING	07	PLUMBING
08	LANDSCAPE	08	LANDSCAPE
09	EXISTING	09	EXISTING
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11	DEMOLITION	11	DEMOLITION
12	ASPHALT	12	ASPHALT
13	GRAVEL	13	GRAVEL
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33	PLUMBING	33	PLUMBING
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37	DEMOLITION	37	DEMOLITION
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100	EXISTING	100	EXISTING

14/09/09

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

DA - 18

DATE: 07.12.09

SCALE: 1:100 @ A17, 1:200 @ A3

SECTION A A

cmt

CONSTRUCTION MANAGEMENT TEAM

11-13 HERCULES STREET
ASHFIELD

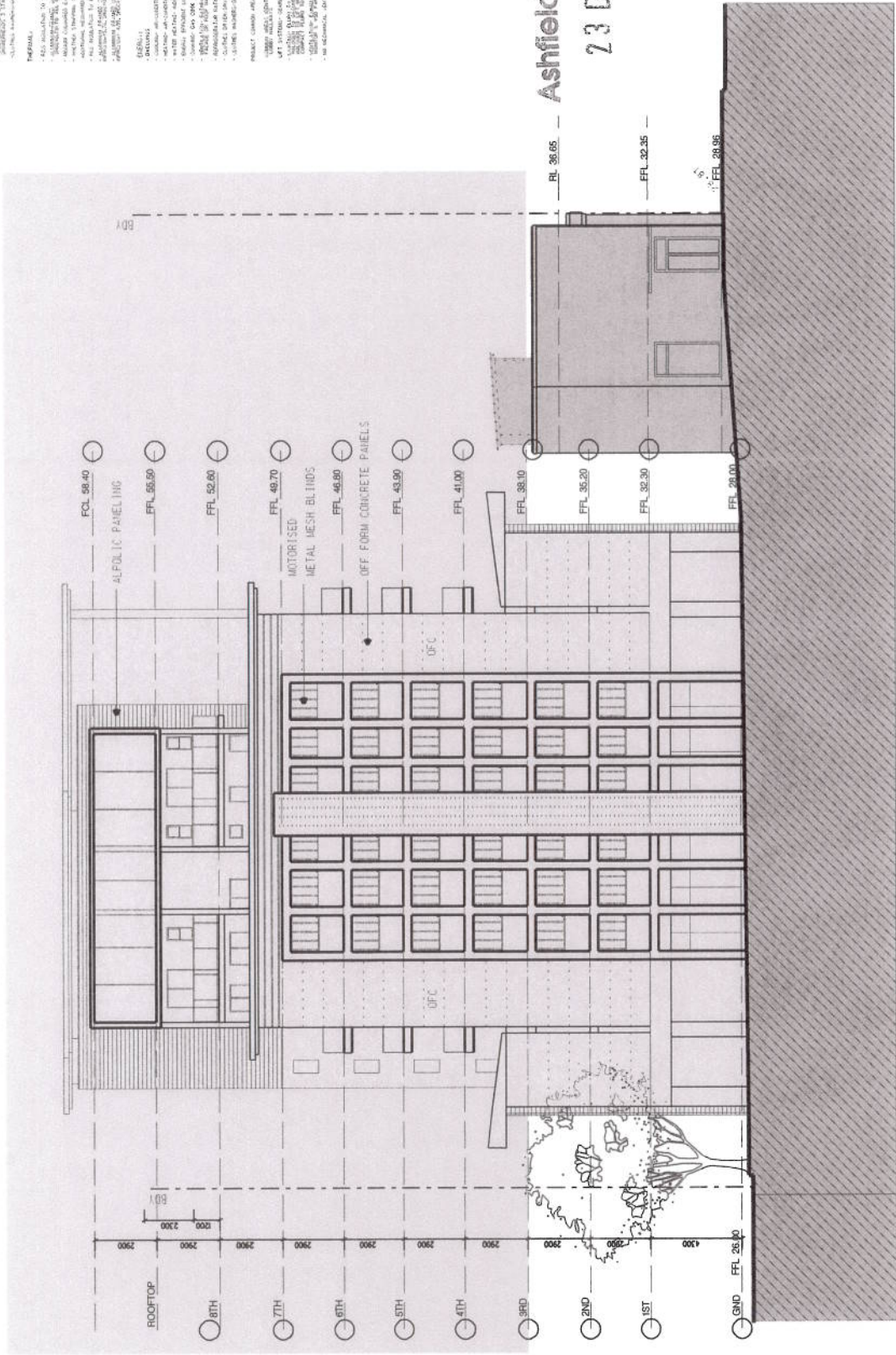
TEL: 01530 2 2987-4332
FAX: 01530 2 2987-4332

BACK AND MATTERS

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.

GENERAL:
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.

Ashfield Council
 23 DEC 2009



SOUTH ELEVATION

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

DA - 21

DATE: 07.12.09
 SCALE: 1:100 @ A1 / 1:200 @ A3
 DRAWN: [Name] CHECKED: [Name]

cm architects

11-13 Hercules Street
 Ashfield, NSW 2133
 Ph: (02) 9557 4333
 Fax: (02) 9557 4333

LEGEND

1	CONCRETE	10	CONCRETE
2	BRICK	11	CONCRETE
3	GLAZING	12	CONCRETE
4	GLAZING	13	CONCRETE
5	GLAZING	14	CONCRETE
6	GLAZING	15	CONCRETE
7	GLAZING	16	CONCRETE
8	GLAZING	17	CONCRETE
9	GLAZING	18	CONCRETE
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88	GLAZING	97	CONCRETE
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90	GLAZING	99	CONCRETE
91	GLAZING	100	CONCRETE

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

DA - 21

DATE: 07.12.09
 SCALE: 1:100 @ A1 / 1:200 @ A3
 DRAWN: [Name] CHECKED: [Name]

BASIN AND MATTERS

- ALL BASINS SHALL BE CONSTRUCTED TO THE REQUIREMENTS OF THE NATIONAL STANDARD AS 1546-2000
- ALL BASINS SHALL BE CONSTRUCTED TO THE REQUIREMENTS OF THE NATIONAL STANDARD AS 1546-2000
- ALL BASINS SHALL BE CONSTRUCTED TO THE REQUIREMENTS OF THE NATIONAL STANDARD AS 1546-2000
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FINISHES

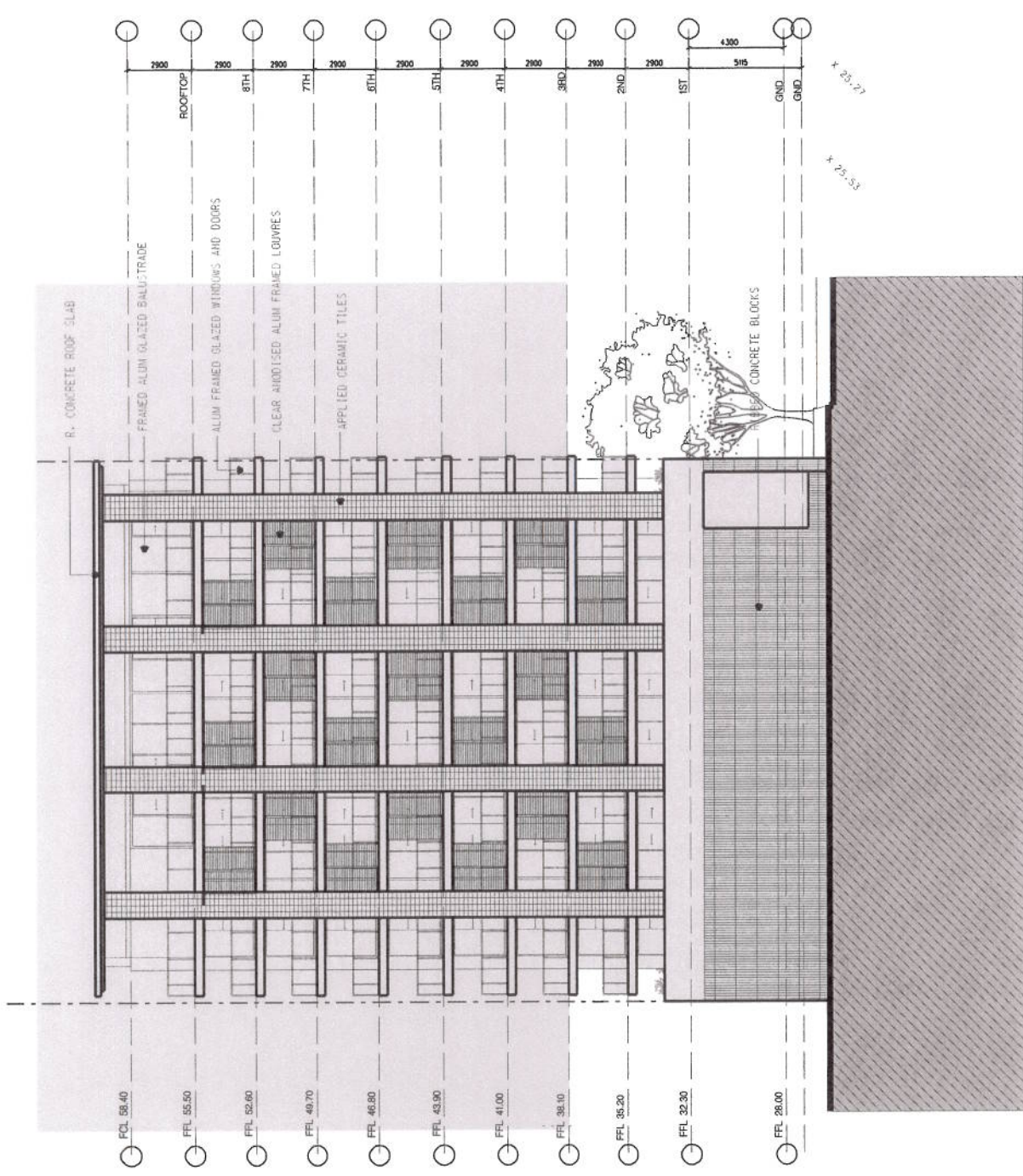
- ALL FINISHES SHALL BE TO THE REQUIREMENTS OF THE NATIONAL STANDARD AS 1546-2000
- ALL FINISHES SHALL BE TO THE REQUIREMENTS OF THE NATIONAL STANDARD AS 1546-2000
- ALL FINISHES SHALL BE TO THE REQUIREMENTS OF THE NATIONAL STANDARD AS 1546-2000
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REFERENCES

- NATIONAL STANDARD AS 1546-2000
- NATIONAL STANDARD AS 1546-2000
- NATIONAL STANDARD AS 1546-2000
- NATIONAL STANDARD AS 1546-2000
- NATIONAL STANDARD AS 1546-2000

PROJECT LOCATION

11-13 HERCULES STREET, ASHFIELD
 NEW SOUTH WALES 2133
 PROJECT NO: DA-22
 DATE: 23 DEC 2009



NORTH ELEVATION

LEGEND

CONCRETE	CONCRETE	CONCRETE
ALUM GLAZED	ALUM GLAZED	ALUM GLAZED
...

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Scale: 1:100 @ A1 | 1:200 @ A3
 DATE: 07.12.09
 PROJECT NO: DA-22

Ashfield Council
23 DEC 2009

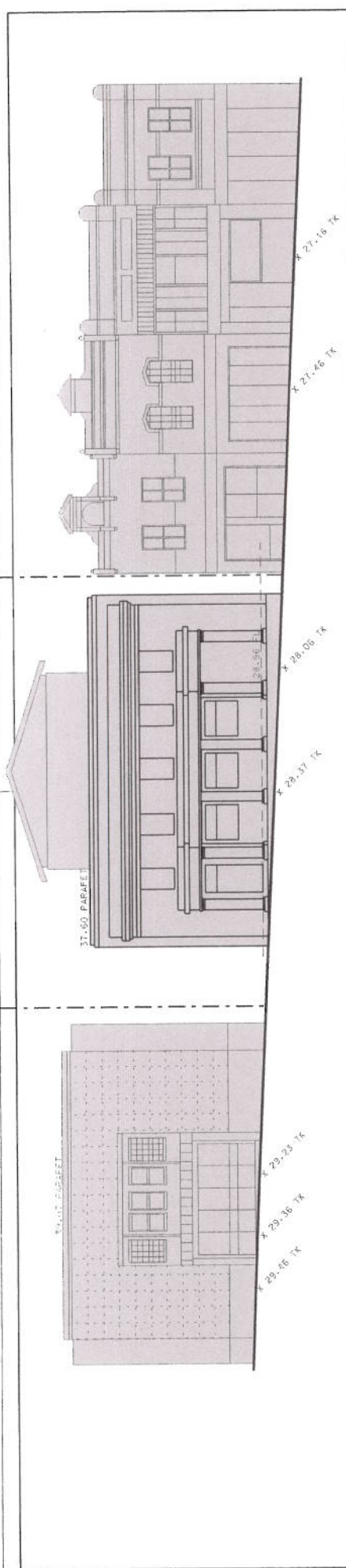
PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD
NORTH ELEVATION

DA - 22
 DATE: 07.12.09

SCALE: 1:100 @ A1 | 1:200 @ A3
 PROJECT NO: DA-22

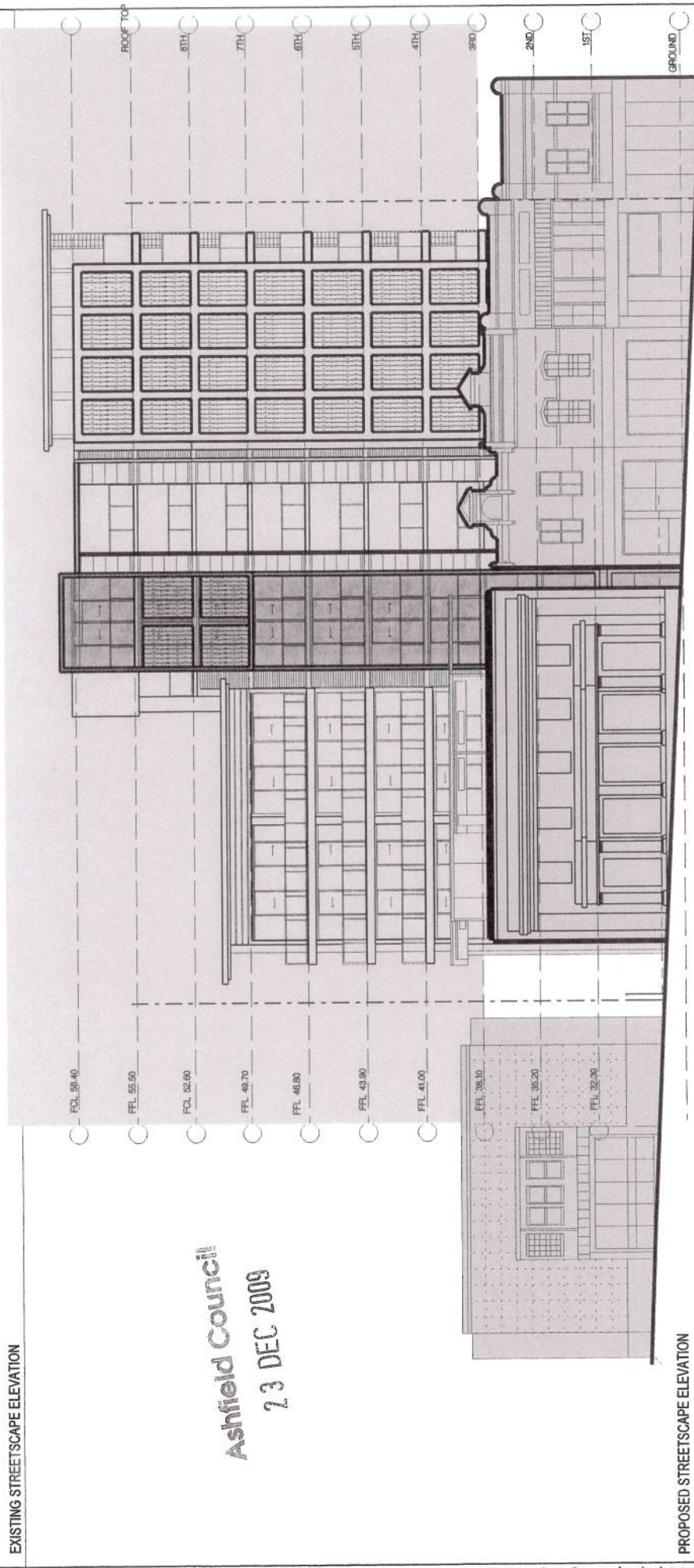


EXISTING STREETSCAPE ELEVATION



Ashfield Council
23 DEC 2009

PROPOSED STREETSCAPE ELEVATION



LEGEND	
W	Window
D	Door
OP	Openable Window
CP	Closeable Window
UP	Upper Window
LP	Lower Window
SP	Special Window
ST	Structural Steel
SC	Structural Concrete
CC	Concrete
BR	Brick
BL	Block
SL	Slab
ST	Steel
CP	Closeable Window
UP	Upper Window
LP	Lower Window
SP	Special Window
ST	Structural Steel
SC	Structural Concrete
CC	Concrete
BR	Brick
BL	Block
SL	Slab
ST	Steel

PROPOSED DEVELOPMENT @
11-13 HERCULES STREET
ASHFIELD

DATE 07.12.09
SCALE 1:100 @ A1 / 1:200 @ A3
DRAWING NO. 11130300 - DEC. 09.147

DA - 23

cm t
cm t architects
11-13 Hercules Street
Ashfield
Tel: 01930 238743
Fax: 01930 238743

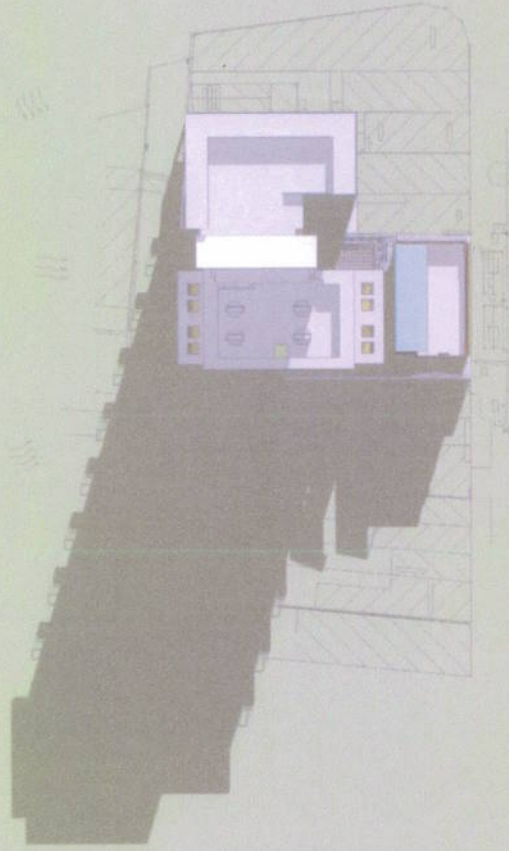
SHADOW DIAGRAMS

11-13 HERCULES STREET, ASHFIELD

COUNCIL COPY

Ashfield Council

23 DEC 2009



Winter Solstice: 22nd June

9:00 am

43° NNE

19° elevation

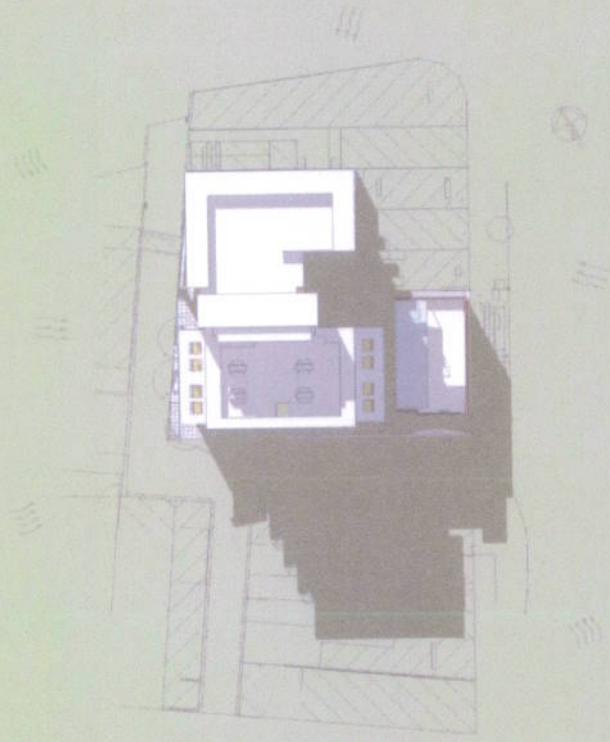
cmt

cmt architects

Unit 1, 32-36 Premier Street, Kogarah NSW 2217

Tel/Fax: +61 2 9587 4330

SHADOW DIAGRAMS
11-13 HERCULES STREET, ASHFIELD

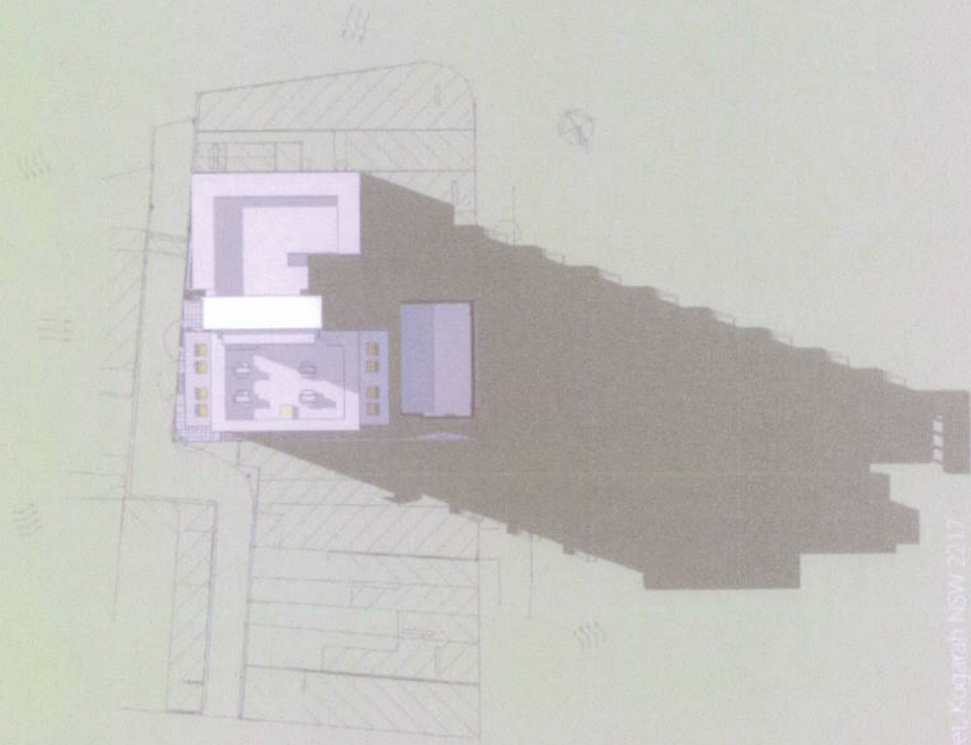


Winter Solstice: 22nd June
12:00 pm
43° NNE
19° elevation



Unit 1, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax: +61 2 9587 4330

SHADOW DIAGRAMS
11-13 HERCULES STREET, ASHFIELD



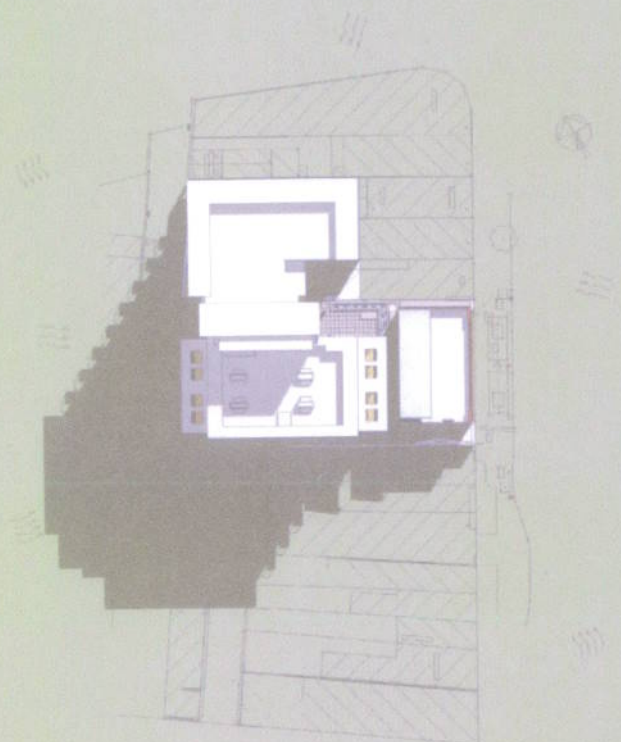
Winter Solstice: 22nd June
3:00 pm
43° NNE
19° elevation



Unit 1, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax: +61 2 9587 4350

SHADOW DIAGRAMS

11-13 HERCULES STREET, ASHFIELD



22nd September

9:00 am

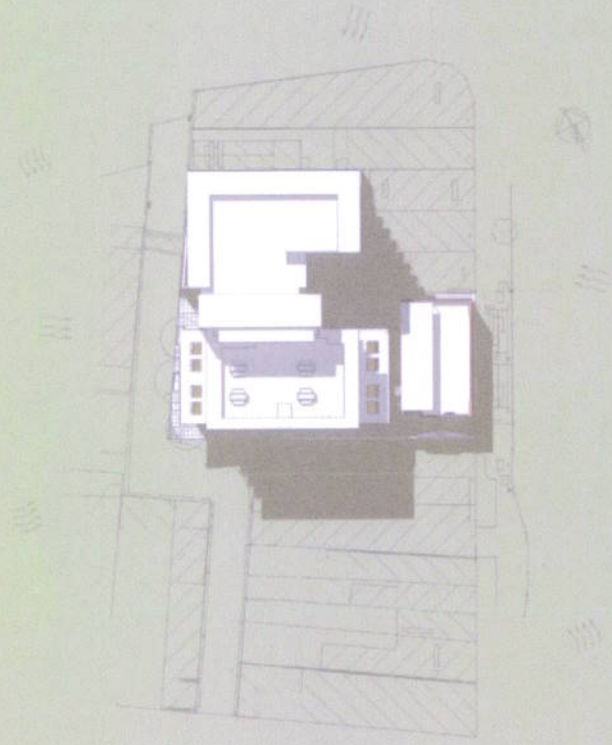
43° NNE

19° elevation



Unit 1, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax: +61 2 9587 4330

SHADOW DIAGRAMS
11-13 HERCULES STREET, ASHFIELD



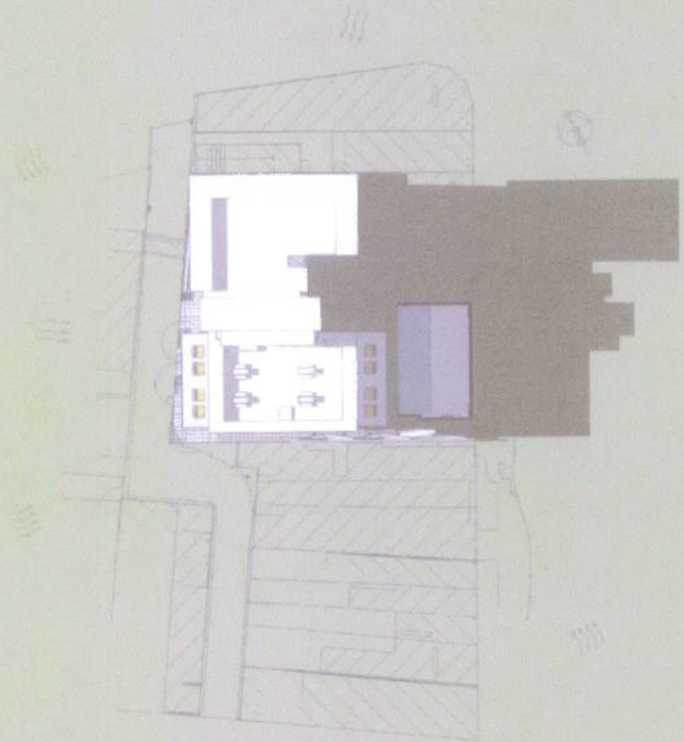
22nd September
12:00 pm
43° NNE
19° elevation



Unit 1, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax: +61 2 9587 4330

SHADOW DIAGRAMS

11-13 HERCULES STREET, ASHFIELD

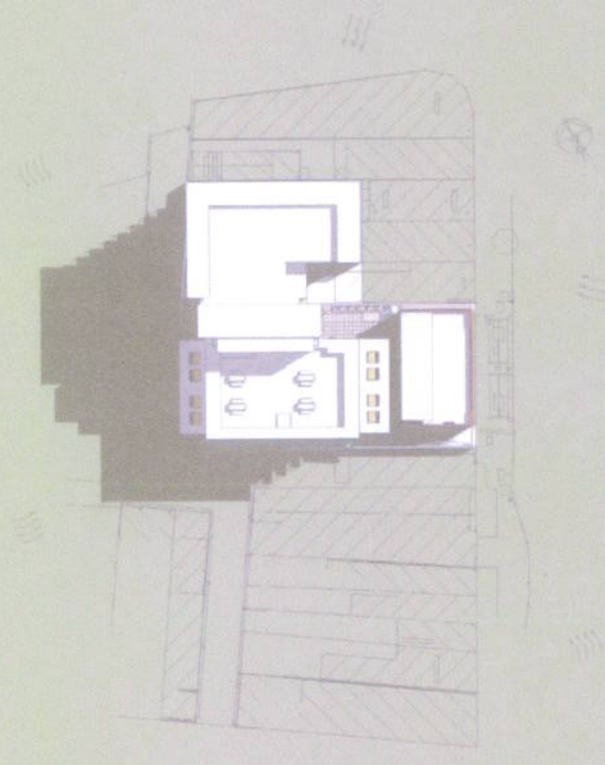


22nd September
3:00 pm
43° NNE
19° elevation



Unit 1, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax +61 2 9587 4330

SHADOW DIAGRAMS
11-13 HERCULES STREET, ASHFIELD

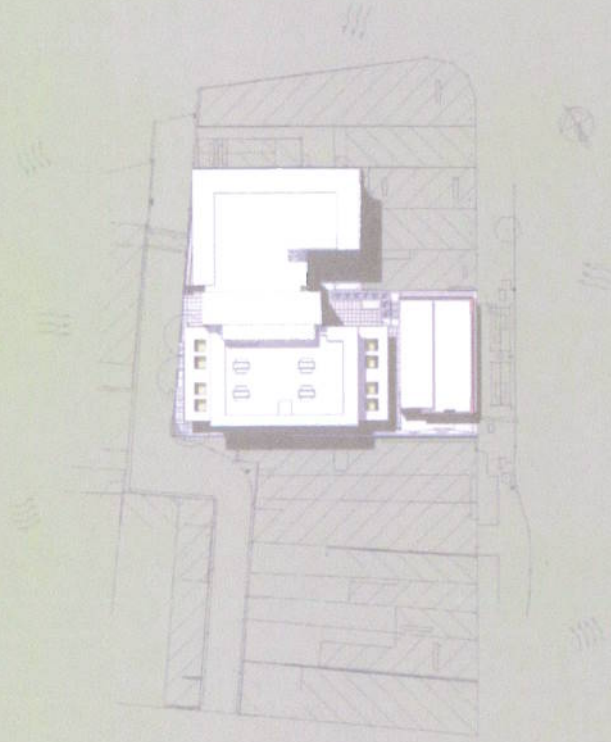


22nd December
9:00 am
43° NNE
19° elevation



Unit 1, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax: +61 2 9587 4330

SHADOW DIAGRAMS
11-13 HERCULES STREET, ASHFIELD



22nd December
12:00 pm
43° NNE
19° elevation



Unit 7, 32-36 Premier Street, Kogarah NSW 2217
Tel/Fax: +61 2 9587 4390

SHADOW DIAGRAMS

11-13 HERCULES STREET, ASHFIELD



22nd December

3:00 pm

43° NNE

19° elevation



Unit 1, 42-46 Percival Street, Koppahalli NSW 2217
Tel/Fax: +61 2 9587 4330